
HEARING EXAMINER AGENDA

December 6, 2016



**OAK HARBOR HEARING EXAMINER
December 6, 2016 at 1:30 P.M.**

**City Hall Council Chambers
865 SE Barrington Drive
Oak Harbor, WA 98277**

AGENDA

1. **Call to Order**
2. **CHRIST THE KING COMMUNITY CHURCH CONDITIONAL USE PERMIT – CUP-16-03**
The Hearing Examiner will consider a conditional use permit application submitted by Christ the King Community Church proposing to use 1036 SE Pioneer Way for church related use. The church proposes to use an existing 5,240 square foot commercial space as a meeting hall and shared parking spaces associated with the building. The current proposal is to accommodate approximately 60 members. The proposal includes adult services and children’s activities.
3. **PACIFIC INDOOR TACTICAL CONDITIONAL USE PERMIT – CUP-16-04**
The Hearing Examiner will consider a conditional use permit application submitted by Pacific Indoor Tactical proposing to use 951 NE 21st Court for an indoor firing range, firearm training and retail store.
4. **Adjourn**

STAFF REPORT

Christ the King Community Church

CUP 16-03

Christ the King Community Church
Case No. CUP-16-03
Staff Report to Hearing Examiner

APPLICATION:

The Christ the King Community Church proposes to use an existing approximately 5,240-square foot commercial space as a meeting hall for church services and related activities. The proposal would accommodate the existing congregation of approximately 60 people and future growth.

PRELIMINARY INFORMATION:

Applicant: John Ney, Christ the King Community Church, PO Box 337, Oak Harbor, WA 98277

Property Owner: Prosperity Investments, 1582 Scenic Heights Road, Oak Harbor, WA 98277

Address of proposal: 1036 SE Pioneer Way, Oak Harbor, WA 98277

Parcel Number: S7585-00-00025-0

Comprehensive Plan Designation: Central Business District

Zoning Designation: CBD, Central Business District

Application Presented for Action:

Conditional Use Application (CUP-16-03) - Review Process III

Attachments:

Exhibit 1	Conditional Use Application and Applicant Narrative
Exhibit 2	Vicinity and Aerial Map
Exhibit 3	Zoning Map
Exhibit 4	City Department Requirements
Exhibit 5	Public Noticing Documents

BACKGROUND and PROJECT DESCRIPTION:

The existing space is currently vacant, but has been home to retail uses in the recent past. The property owner has consented to allow the applicant to pursue a Conditional Use Permit to operate the church in this location. The applicant proposes to occupy the approximately 5,240 square foot space, constructing separate rooms for various uses including a main meeting space, a multi-purpose room, children's room, office and restrooms.

At this time, there are approximately 60 members of the church – the applicant states that the space will be sufficient for current congregants and allow for future expansion. Services will include a 10:00 AM gathering on Sunday mornings. Incidental uses of the space may occur throughout the week for special occasions.

There is *no requirement for on-site parking for the CBD zone district*. The OHMC sets a ratio of one parking space per four seats for churches with on-site parking. The aforementioned church membership would require approximately 15 parking spaces at maximum usage *if on-site parking*

were required. The parking lot located on the adjacent parcel under the same ownership has 10 spaces – not a sufficient number to accommodate this use. Also, there is an existing church that utilizes that parking lot that was approved under a previous Conditional Use Permit. That said, there is significant opportunity to utilize on-street parking very close by on SE Pioneer Way and SE Jensen Street. More than 30 parking spaces exist on those two streets alone, within close walking distance. If the two congregations were to have overlapping service times, there should be sufficient parking for both churches in the immediate vicinity.

Conditional Use Permit Application

The subject parcel is currently zoned Central Business District (CBD). The site’s proposed use is not specifically listed under OHMC 19.20.315 *Conditional uses permitted*, but a decision issued by the Hearing Examiner in 2006 stated that a church use can be “considered similar to uses permitted or conditionally permitted and normally located in the central business district,” as stated within that section.

Following OHMC 18.20.250(2)(b), the review of applications for conditional uses are Review Process III actions. Such actions are subject to an open record public hearing before the Oak Harbor Hearing Examiner, followed by a final decision by the Examiner.

SITE GEOGRAPHY

The subject building is located on the north side of SE Pioneer Way between SE Jensen Street and SE Midway Boulevard. Currently developed with a two-story commercial building and paved parking lot, the parcel slopes downward from north to south. Land uses abutting the site include the following:

	Existing Land Use	Zoning
North:	Commercial	CBD, Central Business District
South:	Vacant land	CBD, Central Business District
East:	Commercial	CBD, Central Business District
West:	Vacant land	CBD, Central Business District

SEPA

The proposed project does not meet the threshold for SEPA review.

LEGAL NOTICE:

The Notice of Public Hearing and notice to neighboring property owners were mailed and posted on November 18, 2016. The Notice of Application and notice to neighboring property owners were mailed and posted on October 18, 2016.

PUBLIC COMMENTS:

The City has received no comment on this application.

CONDITIONAL USE REVIEW

The Oak Harbor Municipal Code 19.67 Conditional Uses, states that a conditional use permit shall be granted if certain criteria are met. The following is an analysis of the conditional use criteria:

- 1. All special conditions for the particular use are met.**

No special conditions are established within the CBD, Central Business District zoning district for churches or similar structures. The Hearing Examiner may establish conditions of approval as provided for by OHMC 19.67.050.

2. It does not have a significant, adverse environmental impact resulting in excessive noise, light and glare or soil erosion on adjacent property.

No negative environmental impacts are expected from the proposed use. Interior construction activity is proposed which may cause limited noise impacts for a short period of time. The use of the property should not generate excess noise or other environmental impacts. Any noise concerns related to activities that may occur on the property shall be addressed by Chapter 6.56 of the Oak Harbor Municipal Code.

The use of the building will be of limited land use impact to neighboring parcels due to the primary usage being on Sundays.

3. It is provided with adequate parking.

As noted above, there are no requirements for on-site parking in the CBD zone district. However, there are currently 10 parking spaces on-site for use of the subject building and more than 30 spaces within close walking distance on-street. Using the parking ratio set forth in OHMC 19.44.100, the proposed number of congregants would need 15 parking spaces.

4. It is served with adequate public streets, public utilities and facilities.

Existing utilities will be sufficient for the proposed use and the use will not constitute an undue burden on any utility or facility. Because the applicant has indicated a need for a building permit, Transportation Concurrency will be required with the application.

5. It otherwise meets the purpose of the district in which it is to be placed.

The listed purpose of the CBD zone district is to “preserve and enhance the unique harbor location of the city’s heritage with the character of the traditional center of social, cultural and retail activity.” This use meets that purpose by providing a location for social and cultural activity within the Central Business District.

6. It meets the goals and policies of the Oak Harbor Comprehensive Plan.

The proposed use will generally bring more people to the historic downtown of Oak Harbor and protect undeveloped land by the re-use of an existing commercial building in a developed urban area. Specifically, the project is also consistent with the following Comprehensive Plan Goals and Policies below.

Land Use Element:

Goal 1.f – Support revitalization efforts of downtown Oak Harbor and other neighborhoods through implementation of adopted plans and programs.

Goal 8 – To ensure that the location, situation, configuration, and relationship of the varied land uses within the UGA are consistent and compatible.

Goal 15 – To establish and maintain sufficient land within the City of Oak Harbor zoned to ensure a wide range of public and quasi-public services to meet community needs.

Goal 19 – To create and maintain a balanced community that mixes residential use and non-residential uses in a way that promotes environmental quality and community aesthetics.

Transportation Element:

Goal 4.c – Encourage land use development patterns that reduce the demand for increased capacity on roadways.

RECOMMENDED ACTION:

Staff recommends that the Hearing Examiner conduct the public hearing and approve CUP-16-03 subject to the following conditions:

1. The project shall be in general conformance with the narrative and application materials submitted by the applicant dated October 11, 2016, as attached in Exhibit 1 and abide by conditions and requirements set forth within this report.
2. Scheduled church related gatherings and services shall be limited to off-peak business hours such as evening and Sundays. Unscheduled and infrequent events such as funerals should be timed so as not to create traffic or parking problems.
3. Applicant shall abide by all City Department conditions outlined in Exhibit 4.
4. The conditional use shall not be transferable to a subsequent user unless specifically authorized by the hearing examiner who finds it appropriate and a permit authorizing the transferability is on record with the Island County auditor.
5. The conditional use permit must be acted on within one year of the date of granting. Otherwise the conditional use permit shall expire and be null and void.
6. The conditional use permit applies only to the property for which the application is made.

EXHIBIT 1

*Conditional Use Application
and
Applicant Narrative*

RECEIVED

OCT 11 2016

CITY OF OAK HARBOR
Development Services Department

**Cover Letter for City of Oak Harbor, WA
Conditional Use Permit Application
Christ the King Community Church**

**Christ the King Community Church
PO Box 337
Oak Harbor, WA 98277**

14 October, 2016

**City of Oak Harbor
Planning Commission**

Project Information

Name of Applicant: Christ the King Community Church, John Ney

Applicant's Mailing Address: PO 337, Oak Harbor, WA

Phone: 360-632-1531

E-mail: john.ney@ctkonline.com

Property Address: 1036 SE Pioneer Way, Oak Harbor, WA

Property Owner: Prosperity Investments

Owner Mailing Address 1582 Scenic Heights Road

Phone: 360 929 7425

Parcel #: 333883

Size of Site: 7139.48 sq. ft.

Street Frontage: Pioneer Way

Existing Zoning: CBD

Proposed Use: Church

Hours of Operation:

Sunday: 10 A.M. to 11:30 A.M.

I Description of Application:

This application is a request for a conditional use permit for the above property to be used as church facility.

II Application Contents:

1. Applicant cover letter
2. Application Form
3. Narrative
4. Conditional Use Plan
5. Legal Description
6. List of property owners and GIS Map indicating property owners within 300 feet



City of Oak Harbor
 Development Services Department
 865 SE Barrington Drive, Oak Harbor, WA 98277
<http://www.oakharbor.org>

Phone: 360-279-4510
 Fax: 360-279-4519

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CITY OF OAK HARBOR
 Development Services Department

Development Application

Project Information

Project Name: CHRIST THE KING COMMUNITY Church
 Project Address: 1036 SE PIONEER WAY
 Description of Work: CONVERSION OF EXISTING BUILDING FOR USE AS A Church
 Assessor Parcel Number(s): 333883
 Land Area (sq. ft. or acres): 7139.48 SQFT Zoning District: CDB
 What is the Project Valuation (best guess, if necessary) \$ 30,000.00

Applicant Information

Applicant Name: John Ney
 Address: 3863 WINTERBERRY DR
 City/State: OAK HARBOR Zip: 98277 Phone/Fax: 360 632 1531
 Email: JOHN.NEY@CTKONLINE.COM

Applicant's Interest to Property* (check one):

- Owner Owner's Agent Lessee Contractor Licensed Architect Licensed Engineer
 Other (specify) _____

Primary Contact (if other than applicant)

Name: _____
 Address: _____
 City/State: _____ Zip: _____ Phone/Fax: _____
 Email: _____

Property Owner(s) (if other than applicant)

Name: PROSPERITY INVESTMENTS
 Address: 1582 SCENIC HEIGHTS RD
 City/State: OAK HARBOR Zip: WA Phone/Fax: 360 929 7425
 Email: CHEUDEALER@AOL.COM

Permit Type (check all that apply)

- Building
 Land Use
 Engineering
 Grading Only
 Land Clearing Only
 Demolition Only
 Residential Construction
 Commercial Construction

Please Note: Additional applications or supplementary pages may apply to your project.

Permits Requested (check all that apply)

<input type="checkbox"/> Accessory Dwelling Unit	<input type="checkbox"/> Grading	<input type="checkbox"/> Site Plan – Type I, II, IV
<input type="checkbox"/> Binding Site Plan	<input type="checkbox"/> Land Clearing	<input type="checkbox"/> Short Plat
<input type="checkbox"/> Boundary Line Adjustment	<input type="checkbox"/> Lot Combination	<input type="checkbox"/> Shoreline Substantial Development
<input type="checkbox"/> Civil Plan Review	<input type="checkbox"/> Pre-Application	<input type="checkbox"/> Transportation Concurrency
<input type="checkbox"/> Conditional Use - Consolidated	<input type="checkbox"/> Preliminary PRD	<input type="checkbox"/> Simple Variance - Consolidated
<input checked="" type="checkbox"/> Conditional Use - Simple	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Variance - Simple
<input type="checkbox"/> Final Plat	<input type="checkbox"/> SEPA Review	<input type="checkbox"/> Zoning Code Text Amendment
<input type="checkbox"/> Other		

Are you requesting to process the applications individually per OHMC 18.20.360(1)?

Yes No

Project Details (fill in all applicable sections)

Ground Disturbance: Yes No If yes, completes the following questions:

Is disturbance greater than 100 cubic yards? Yes No

Type of equipment to be used _____

Total cubic yards of excavation _____ Total cubic yards of fill _____

Critical Areas:

Does the site contain a critical area as defined in OHMC 20.12.030(2) Yes No Unknown

If yes, please state critical area type(s) _____

Shoreline Development:

Is construction planned within 200 feet of ordinary high water? Yes No Unknown



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 Development Services Department

Critical Area Identification Form

Project Name (if applicable): CHRIST THE KING COMMUNITY CHURCH
 Associated Application(s): _____

Brief Description of Proposal:

APPLICANT NAME/CONTACT PERSON (or legal representative): JOHN NEY	Address: 3803 WINTERBERRY DR OAK HARBOR, WA 98277
E-mail Address: JOHN.NEY@CTKONLINE.COM	Phone and Fax: 360 632 1531
PROPERTY OWNER NAME (list multiple owners on a separate sheet): PROSPERITY INV.	Address: 1582 SERRILL HTS RD
E-mail Address: CITRUD DEALER@AOL.COM	Phone and Fax: 360 929 7425

AUTHORIZATION:

The undersigned hereby certifies that the property affected by this application is in the exclusive ownership of the applicant or that the applicant has submitted the application with the consent of all owners of the affected property. In addition, the undersigned hereby certifies that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient cause for denial of the request.

I declare under penalty of the perjury laws that the information I have provided on this form/application is true, correct and complete.

Authorized Signature: [Signature] Date: 10/10/16

Staff use only below this line

Yes	No		Critical Area Report Needed?
<input type="checkbox"/>	<input type="checkbox"/>	Wetland	_____
<input type="checkbox"/>	<input type="checkbox"/>	Fish and Wildlife Habitat Conservation Area	_____
<input type="checkbox"/>	<input type="checkbox"/>	Geologically Sensitive Area	_____
<input type="checkbox"/>	<input type="checkbox"/>	Frequently Flooded Area	_____
<input type="checkbox"/>	<input type="checkbox"/>	Critical Aquifer Recharge Area	_____

P:\Permit Coordinator\Permit Applications\Development Services Permits & Handouts\Critical Area Identification Form.doc
 REV. 1/6/14

OCT 11 2016

CITY OF OAK HARBOR
Development Services Department

Narrative

Christ the King Community Church is a Christian organization whose mission is to: Create an authentic Christian community that effectively reaches out to unchurched people with love, acceptance and forgiveness so that they may experience the joy of salvation and a purposeful life of discipleship.

Christ the King Community Church in Oak Harbor (CTKOH) has had a long standing relationship with the community of Oak Harbor from its start over 13 years ago in small coffee shop located in the Oak Tree Business Center on Cabot Drive and then transitioning to our current rental space at the Oak Harbor Senior Center.

CTKOH is committed to partnering and reaching out to the community of Oak Harbor and the opportunity to rent the space at 1036 SE Pioneer Drive will greatly improve our ability and effectiveness in our continuing efforts of reaching the lost and broken of this community.

The 5200 sq. foot aforementioned location would more than accommodate the intended uses and needs of the current 60-person congregation as well as any anticipated growth.

We intend to use the location for church activities that will enhance the faith of our current members and to share our faith with the citizens of Oak Harbor.

Sunday morning services would include the following:

1. Adult Worship Service (AWS), Sunday morning beginning at 10:00 A.M. Each AWS will comprise of 20 – 40 adults participating in 20 minutes of music and singing followed by a 20 to 30-minute lesson led by a Pastor/Teacher.
2. Children's Worship Service (CWS) will be conducted in conjunction with the AWS teaching time. CWS will contain 5-8 children and 2 adults participating in a 20 to 30-minute lesson taught by a Sunday School Teacher.

We intend to make non-structural modifications to the existing space as indicated in enclosure 1 and 2.

Enclosures:

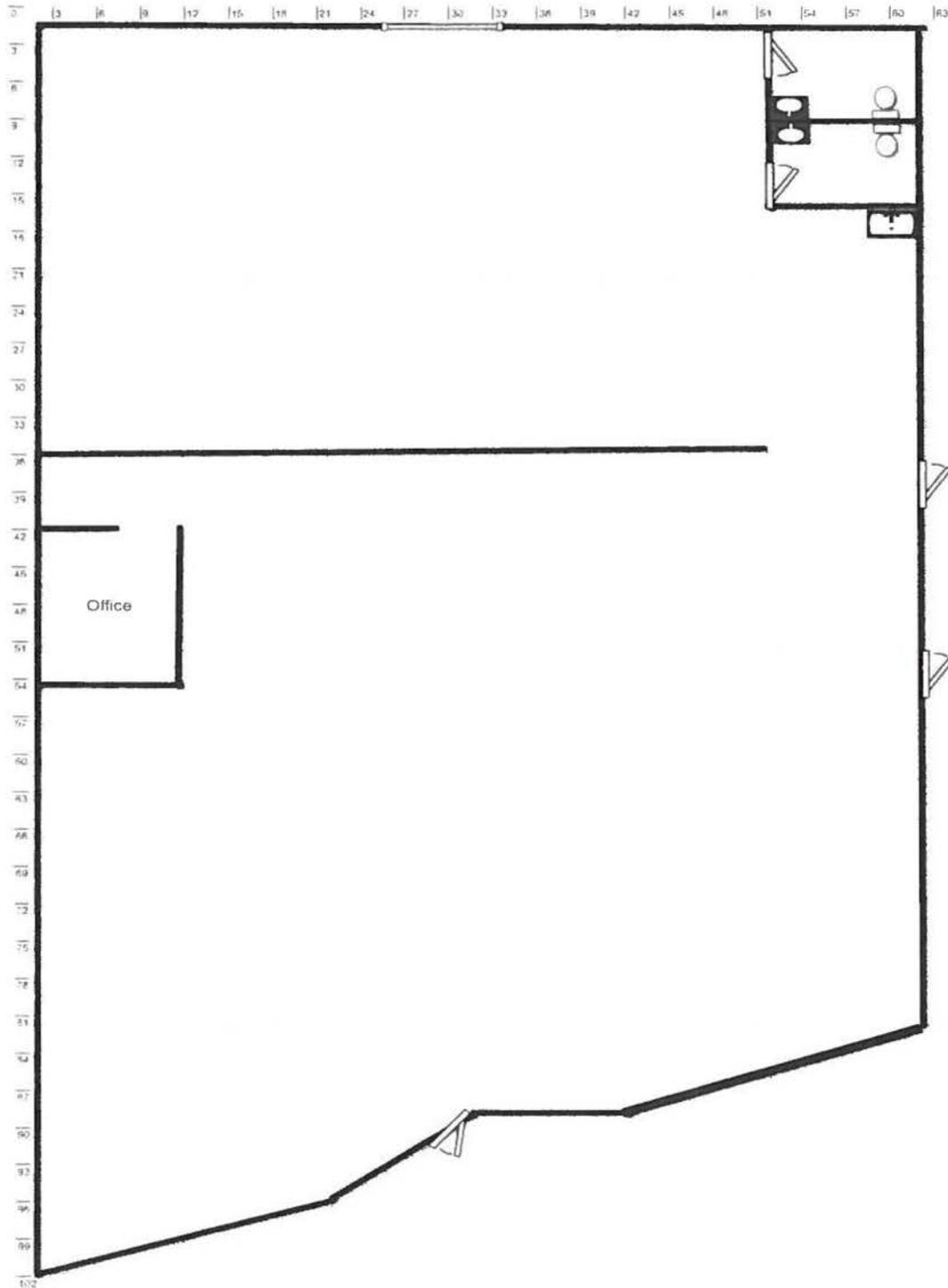
1. Existing Building Layout
2. Proposed Modifications

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CITY OF OAK HARBOR
Development Services Department

Existing Building Layout



Enclosure 1

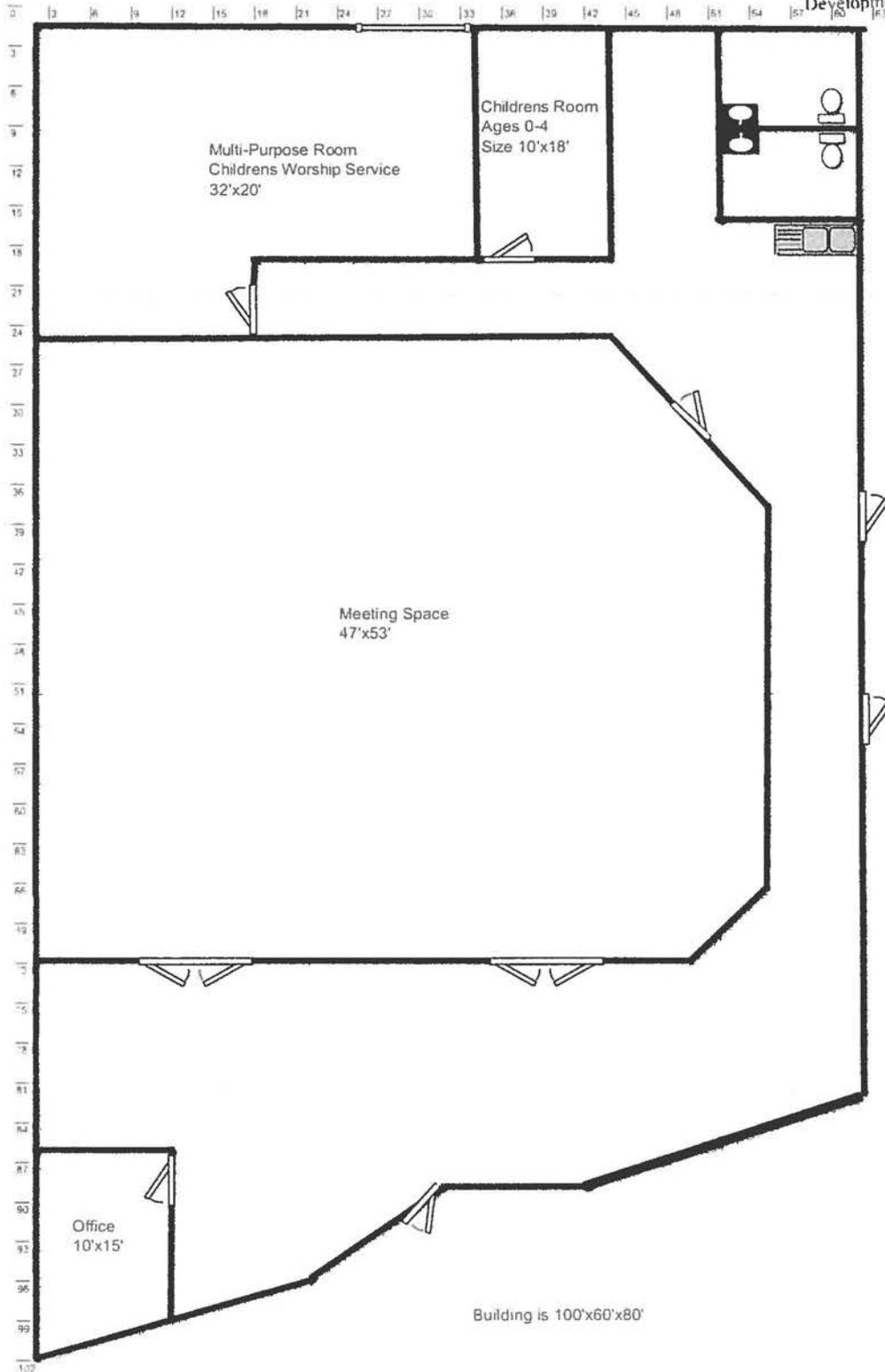
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Development Services Department

Proposed Modifications



Enclosure 2

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CITY OF OAK HARBOR
Development Services Department

Legal Description

Legal Data

Subdivision: OAK HARBOR Lot: 24-26 0 Parcel: S7585-00-00024-2

Property ID: 333883

Legal Description: OAK HARBOR LOT 25

Geographic ID: S7585-00-00025-0

Type: Real

Address:

1036 SE PIONEER WAY

OAK HARBOR, WA 98277

Neighborhood: 12cOH-pioneer way

Map ID: 87

Neighborhood CD: 12cOHpionr

Owner:

Name: PROSPERITY INVSTMT. F. L. PL

Owner ID: 107922

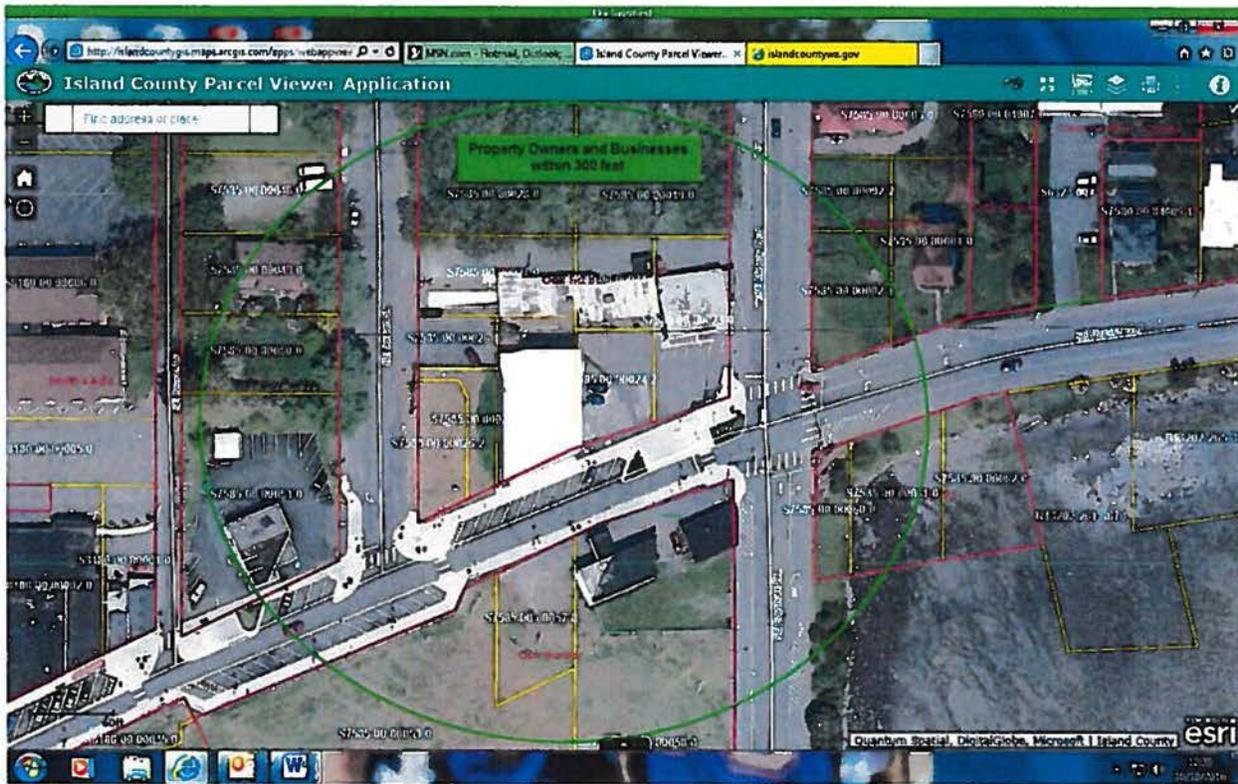
Mailing Address:

1582 SCENIC HEIGHTS RD

OAK HARBOR, WA 98277-8415

OCT 11 2016

PROPERTY OWNERS AND BUSINESSES WITHIN 300 FEET
CITY OF OAK HARBOR
Development Services Department



PROPERTY OWNERS

PROSPERITY INVESTMENTS FAMILY LP
1582 SCENIC HEIGHTS RD
OAK HARBOR, WA 98277

WHIDBEY ISLAND REAL ESTATE, LLC &
C/O CHRISTON SKINNER
791 SE BARRINGTON DRIVE
OAK HARBOR, WA 98277

MONROE LANDING ROAD LLC
2480 HEIGHTS DRIVE
FERNDALE, WA 98248

JENSEN COMMERCIAL PROPERTIES LLC
32785 SR 20 STE 4
OAK HARBOR, WA 98277

VILLARREAL, GILBERT
2515 POND VALLEE DR
OAKLAND, MI 48363

UNITED METHODIST CHURCH OF
1050 SE IRELAND ST
OAK HARBOR, WA 98277

LEAF TRUSTEE, LYNETTE
PO BOX 67
LOPEZ ISLAND, WA 98261

WALDRON CONSTRUCTION INC
380 SE PIONEER WAY #201
OAK HARBOR, WA 98277

COFFEE GROUND LLC
PO BOX 309
CLINTON, WA 98236

DENNIS & SALLY MAYLOR
2460 SW CAPITAL DR
OAK HARBOR, WA 98277

BUSINESSES

MIDWAY FLORIST
1090 SE PIONEER WAY
OAK HARBOR, WA 98277

NORTHWEST DENTAL
1090 SE PIONEER WAY
OAK HARBOR, WA 98277

ISLAND VINEYARD COMMUNITY CHURCH
1080 SE PIONEER WAY
OAK HARBOR, WA 98277

WHIDBEY COFFEE
982 SE PIONEER WAY
OAK HARBOR, WA 98277

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CITY OF OAK HARBOR
Development Services Department



**Christ the King Community Church – Oak Harbor, WA
Conditional Use Plan for proposed Tenant Improvement**

Address: 1036 SE Pioneer Way, Oak Harbor, WA 98277

Parcel Number: 333883

Existing Zoning: CBD

Existing Building Data: 2 stories, 1st floor – 5240 sf, 2nd floor – 5297 sf, built in 1946

Total Lot Area: 0.1639 acres, 7139.48 sf.

Street, Sidewalks & Curbs: Existing

Landscaping: Existing

Type of Conditional Use: Occupancy for religious services and associated activities.

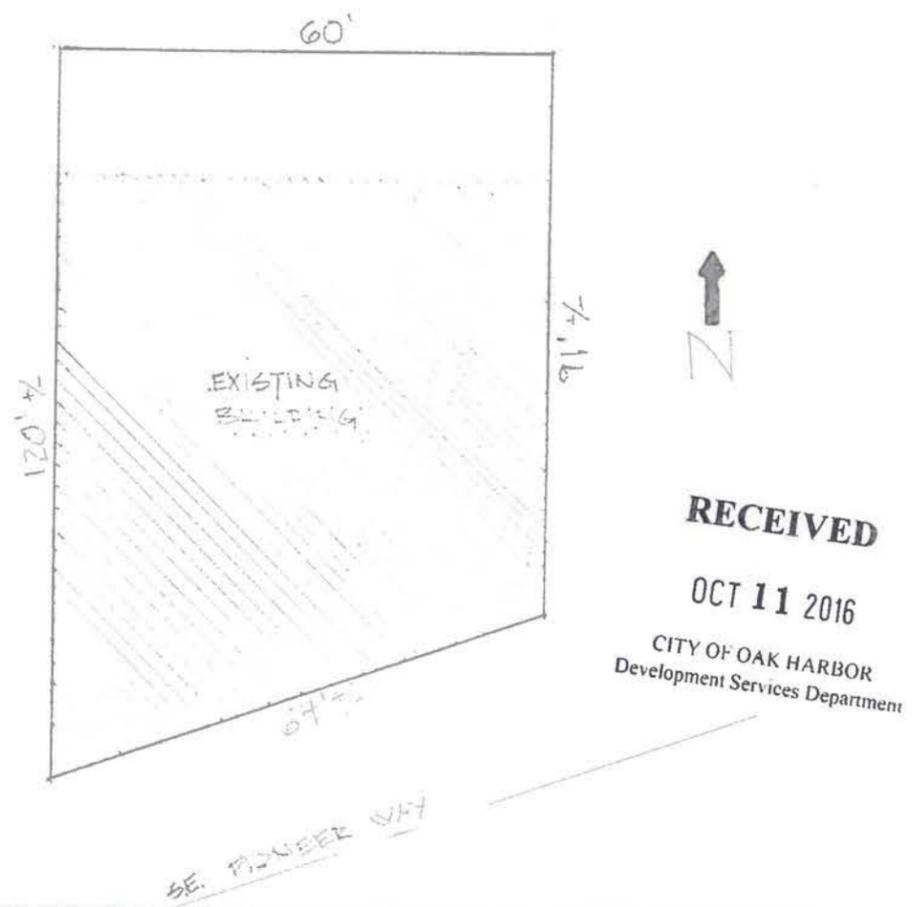


EXHIBIT 2

Vicinity Map



EXHIBIT 3

Zoning Map



EXHIBIT 4

*City Department
Requirements*

APPLICATION REVIEW COMMENTS

Date: November 3, 2016

To: Lisa Bebee, Permit Coordinator

From: Brian Lee, Building Official

Re: **Christ the King Community Church (J. Ney)**
1036 SE Pioneer Way
Conditional Use Permit **(CUP-16-03)**

To assist in expediting the review of the above entitlement application(s), the Building Division offers the comments below. A construction document review comments will be provided at the time the building permit application for the project is filed.

PLAN PREPARATION: (General)

1. The project is required to be designed to be accessible in accordance with the 2015 International Building Code and the 2009 ICC A117.1 (IBC§1101.2). Provide at a minimum:
 - a. Any modified accessible routes that may extend from the public right of way to, and interconnecting with, all accessible elements of the facility
 - b. Accessible building entrances and required exits
 - c. Accessible sanitation facilities
 - d. Accessible parking

ADVISORY COMMENTS:

The comments below are advisory and they may apply to this or later phases of the design, work and/or permit application process:

1. Project will require that a building permit application for the proposed tenant improvements be submitted for review and approval. Exiting from Children's Worship Service area does not appear to be compliant.
2. The project will require approval from WA St. Labor & Industries for temporary and permanent power needs. RCW 43.22.360
3. CALL BEFORE YOU DIG. Please contact Utilities Underground Location Center prior to ANY excavation work at 1-800-424-5555 (or **811**).

END OF BUILDING DIVISION COMMENTS (The comments contained in this review shall not be deemed to nullify any provisions of local, state or federal law).

Any questions regarding the above should be addressed to Mr. Brian Lee, Building Official, at (360) 279-4517.

Engineering Review Comments For Christ the King Community Church

(Conditional Use)
CUP-16-03

Review comments for Conditional Use Permit submitted 10/11/2016

Engineering

1. Transportation Concurrency is required prior to issuance of a building permit. A traffic study may be required as part of the application for concurrency. Depending upon trip generation and distribution, a level of service (LOS) analysis may be required as part of the study. If a LOS analysis is necessary, the City Engineering Division may provide guidance regarding specific intersections that will need to be examined. OHMC 11.32.030

2. If not already installed and approved, a backflow prevention device is required to be installed after the domestic water service meter and after any irrigation deduct meter. An appropriate device is to be determined after completion and review of a commercial cross connection control questionnaire. The questionnaire is provided with the building permit application and hardware specification is subject to building plan review. The questionnaire is also available upon request through the Development Services Department Building Division and Permit Coordinator. OHMC 13.13.120

3. Any premise isolation backflow prevention device and internal cross connection control devices or potential cross connections will need to be inspected by the Oak Harbor Water Division. Contact Chris Price at 360-914-7262 for the inspection.

Archaeology

Regarding the proposed Christ the King Community Church conditional use permit (CUP 16-03), there are no cultural resource concerns since there is no proposed ground disturbing.

However, in the event that ground disturbing is proposed, an archaeologist will have to be retained to develop a Treatment Plan to be approved by the Washington State Department of Archaeology & Historic Preservation and affected tribes prior to the ground disturbing action because the building is in very close proximity to site 45IS45, a pre-contact burial site.

If you have any question in regard to archaeology, feel free to contact Gideon Cauffman, City of Oak Harbor Archaeologist, at (360) 279-4781 or via email at gcauffman@oakharbor.org.

October 24, 2016

Fire Department Requirements: Christ the King Community Church, 1036 SE Pioneer Way

IFC 903.2.1.3 Group A-3 Sprinkler system requirements.

An Automatic sprinkler system shall be provided for fire areas containing Group A-3 occupancies and intervening floors of the building where one of the following conditions exist:

1. The fire area exceeds 12,000. Square feet.
2. The fire area has an occupant load of 300 or more.
3. The fire area is located on a floor other than a level of exit discharge serving such occupancies.

The occupant load for this space must be less than 300, contact the building department for occupant load calculation.

IFC 901.4 Installation – Automatic Fire Alarm

Fire protection systems shall be maintained in accordance with the original installation standards for that system. Required systems shall be extended altered or augmented as necessary to maintain and continue protection where the building is altered, remodeled or added to. Alterations to fire protection systems shall be done in accordance with applicable standards.

The Fire Alarm System will need to be modified to provide proper coverage. Submit two sets of fire alarm plans to the fire department for review.

IFC 906.2 Portable fire extinguishers, general requirements.

Portable fire extinguishers shall be selected, installed and maintained in accordance with this section and NFPA 10

Size 2A-10BC portable fire extinguishers shall be installed in conspicuous locations no more than 75 feet travel distance.

IFC 506.2 Key box maintenance.

The operator of the building shall immediately notify the fire code official and provide the new key where a lock is changed or rekeyed. The key to such lock shall be secured in the key box.

Provide a key to the Fire Department for the KNOX box if the building is re-keyed.

Contact Deputy Chief Mike Buxton, if you have any questions or need assistance.

360-279-4702 mbuxton@oakharbor.org

EXHIBIT 5

*Public Noticing
Documents*



**CERTIFICATION OF NOTIFICATION
OF PUBLIC HEARINGS**

Oak Harbor Hearing Examiner
865 SE Barrington Drive
Oak Harbor, Washington 98277

I, Lisa Felix, am the Development Services Department Administrative Assistant for the City of Oak Harbor. I certify under penalty of perjury under the laws of the State of Washington that:

1. On the 16th day of November, 2016, I provided written notice to the Whidbey News Times Legals (legals@soundpublishing.com), to be published in the paper on the 19th day of November, 2016, of the Public Hearings before the Hearing Examiner, which is scheduled for the 6th day of December 2016; and
2. On the 18th day of November, 2016, I posted the notice on the City of Oak Harbor website and Channel 10.

Signed this 18th day of November, 2016, at Oak Harbor, Washington.

Lisa Felix
Administrative Assistant
Development Services Department



**CERTIFICATION OF POSTING
PUBLIC HEARING NOTICES**

Oak Harbor Hearing Examiner
865 SE Barrington Drive
Oak Harbor, Washington 98277

I, Lisa Felix, am the Development Services Department Administrative Assistant for the City of Oak Harbor. I certify under penalty of perjury under the laws of the State of Washington that:

On the 18th day of November, 2016, I did post three (3) notices (a copy of which is attached hereto and by reference made a part hereof) at the following locations:

1. Oak Harbor City Hall – Upstairs bulletin board
865 SE Barrington Drive
Oak Harbor, WA 98277
2. Oak Harbor City Hall – Downstairs bulletin board
865 SE Barrington Drive
Oak Harbor, WA 98277
3. Sno-Isle Library – Bulletin board
1000 East Regatta Drive
Oak Harbor, WA 98277

Advertising a public hearing for Conditional Use Permit CUP 16-03 and Conditional Use Permit 16-04 before the Hearing Examiner on the 6th day of December, 2016.

Executed this 18th day of November, 2016, at Oak Harbor, Washington.

Lisa Felix
Administrative Assistant
Development Services Department



**NOTICE OF PUBLIC HEARINGS BEFORE
HEARING EXAMINER**

HE 12-06-2016

Notice is hereby given that the following public hearings will be held before the City of Oak Harbor Hearing Examiner in the Council Chambers at City Hall, 865 SE Barrington Drive, Oak Harbor, WA, on **Tuesday, December 6, 2016 at 1:30 P.M.**, or as soon thereafter as possible following any preceding items, to consider the following items:

CHRIST THE KING COMMUNITY CHURCH CONDITIONAL USE PERMIT – CUP-16-03

The Hearing Examiner will consider a conditional use permit application submitted by Christ the King Community Church proposing to use 1036 SE Pioneer Way for church related use. The church proposes to use an existing 5,240 square foot commercial space as a meeting hall and shared parking spaces associated with the building. The current proposal is to accommodate approximately 60 members. The proposal includes adult services and children’s activities.

PACIFIC INDOOR TACTICAL CONDITIONAL USE PERMIT – CUP-16-04

The Hearing Examiner will consider a conditional use permit application submitted by Pacific Indoor Tactical proposing to use 951 NE 21st Court for an indoor firing range, firearm training and retail store.

Anyone wishing to comment on the above items or provide other relevant information may do so in writing or appear in person before the Hearing Examiner at the time and place of said public hearings. After obtaining public input and considering the matter, the Hearing Examiner may approve or deny the proposed application. As part of the approval, conditions or limitations may be imposed.

For additional information, you may contact the Department of Development Services in City Hall at (360) 279-4512.

All meetings of the Hearing Examiner are open to the public.

Lisa Felix, lfelix@oakharbor.org
Administrative Assistant, Development Services Department

POSTED ON FRIDAY, NOVEMBER 18, 2016:

- POSTED: City Hall Bulletin Boards
- POSTED: www.oakharbor.org
- POSTED: Sno-Isle Library Bulletin Board

EMAILED ON WEDNESDAY, NOVEMBER 16, 2016: legals@soundpublishing.com

PUBLISHED ON SATURDAY, NOVEMBER 19, 2016: Whidbey News Times

REMOVE WEDNESDAY, DECEMBER 7, 2016

865 S.E. Barrington Drive • Oak Harbor, Washington 98277-4092 • City Hall (360) 279-4500



**CERTIFICATION OF MAILING
NOTICE TO ADJACENT PROPERTY OWNERS**

I, Lisa Felix, certify under penalty of perjury under the laws of the State of Washington, that the following is true and correct:

That on the 18th day of November, 2016, I deposited in the U.S. mail, postage prepaid, a copy of the Notice of Public Hearing before the Hearing Examiner for Conditional Use Permit CUP 16-03 to take place on December 6, 2016 (a copy of which is attached hereto and by reference made a part hereof) to the following property owners:

[See attached list]

Executed this 18th day of November, 2016, in Oak Harbor, Washington.

Lisa Felix
Administrative Assistant
Development Services Department



November 18, 2016

**NOTICE TO ADJACENT PROPERTY OWNERS OF PUBLIC HEARING
OAK HARBOR HEARING EXAMINER**

You are receiving this notice because you own property within 300 feet of 1036 SE Pioneer Way.

Notice is hereby given that a public hearing will be held before the City of Oak Harbor Hearing Examiner in the Council Chambers at City Hall, 865 SE Barrington Drive, Oak Harbor, WA, on **Tuesday, December 6, 2016 at 1:30 P.M.**, or as soon thereafter as possible following any preceding items, to consider the following:

CHRIST THE KING COMMUNITY CHURCH CONDITIONAL USE PERMIT – CUP-16-03

The Hearing Examiner will consider a conditional use permit application submitted by Christ the King Community Church proposing to use 1036 SE Pioneer Way for church related use. The church proposes to use an existing 5,240 square foot commercial space as a meeting hall and shared parking spaces associated with the building. The current proposal is to accommodate approximately 60 members. The proposal includes adult services and children's activities.

Anyone wishing to support or oppose the above item or provide other relevant comments may do so in writing or appear in person before the Hearing Examiner at the time and place of said public hearing. After obtaining public input and considering the matters, the Hearing Examiner may approve or deny the proposed application. As part of the approval, conditions or limitations may be imposed.

The conditional use permit application is available for review at the City of Oak Harbor Development Services Department at City Hall, 865 SE Barrington Drive. For more information, please contact the Permit Coordinator in the Development Services Department at 360-279-4510.

Comments submitted in writing must be received NO LATER THAN 5:00 P.M. on Monday, December 5, 2016, and may be submitted via:

Mail to: Development Services Department
c/o Lisa Felix
865 SE Barrington Drive
Oak Harbor, WA 98277

Email to: lfelix@oakharbor.org

All meetings of the Hearing Examiner are open to the public.

Lisa Felix
Administrative Assistant
Development Services Department
lfelix@oakharbor.org

Prosperity Investments Family LP
1582 Scenic Heights Rd
Oak Harbor, WA 98277

Whidbey Island Real Estate, LLC
c/o Christian Skinner
791 SE Barrington Drive
Oak Harbor, WA 98277

Monroe Landing Road LLC
2480 Heights Drive
Ferndale, WA 98248

Jensen Commercial Properties LLC
32785 SR 20, STE 4
Oak Harbor, WA 98277

Villarreal, Gilbert
2515 Pond Vallee Drive
Oakland, MI 48363

United Methodist Church of
1050 SE Ireland Street
Oak Harbor, WA 98277

Leaf Trustee, Lynette
PO Box 67
Lopez Island, WA 98261

Waldron Construction
380 SE Pioneer Way #201
Oak Harbor, WA 98277

Coffee Ground LLC
PO Box 309
Clinton, WA 98236

Dennis & Sally Maylor
2460 SW Capital Drive
Oak Harbor, WA 98277

Midway Florist
1090 SE Pioneer Way Suite 101
Oak Harbor, WA 98277

Northwest Dental
2710 Meridian Street
Bellingham, WA 98225

Whidbey Coffee Company
Box 309
Clinton, WA 98236

**CERTIFICATION OF POSTING
NOTICE OF APPLICATION**

Office of the City Administrator
865 SE Barrington Drive
Oak Harbor, WA 98277

I, Lisa Bebee, hereby certify under penalty of perjury under the laws of the State of Washington, that the following is true and correct:

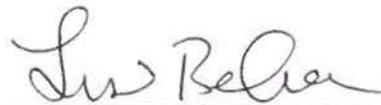
That on the 18th day of October 2016, I did post 3 notices (a copy of which is attached hereto and by reference made a part hereof) at the following locations:

- 1&2) Oak Harbor City Hall
 865 SE Barrington Drive
 Oak Harbor, WA 98277

- 3) City Library
 1000 E Regatta Drive
 Oak Harbor, WA 98277

advertising a Notice of Application CUP-16-00003

Executed this 18th day of October, 2016 in Oak Harbor, Washington.



(Signature of person posting)

NOTICE OF APPLICATION

APPLICATION: Conditional Use CUP-16-03

Christ the King Community Church

Christ the King Community Church submitted a conditional use permit application proposing to use 1036 SE Pioneer Way for church related use. The church proposes to use an existing 5,240 square foot commercial space as a meeting hall and shared parking spaces associated with the building. The current proposal is to accommodate approximately 60 members. The proposal includes adult services and children's activities. The application was submitted on October 11, 2016 by Mr. John Ney for Christ the King Community Church and determined complete for processing on October 14, 2016. The property location is at 1036 SE Pioneer Way. Public comment period will run October 19 through November 2, 2016.

The plans have been circulated to City staff for review and comments. Plans for the proposal are available for review at the City of Oak Harbor's Development Services Department, located in City Hall. For more information, please call (360) 279-4510.

PROJECT LOCATION: Application CUP-16-03 is located at 1036 SE Pioneer Way.

PUBLIC COMMENT PERIOD: To make written comments on this proposal, please mail or hand deliver specific comments to: City of Oak Harbor, Development Services Department, 865 SE Barrington Drive, Oak Harbor, WA 98277, no later than **5:00 p.m. on November 2, 2016**. If you have questions regarding this proposal, please contact the Development Services Department at (360) 279-4510, between 8:00 a.m. and 5:00 p.m.

ENVIRONMENTAL DOCUMENTS AND/OR STUDIES APPLICABLE TO THIS PROJECT: N/A

PUBLIC HEARING REQUIRED: This application is tentatively scheduled for a public hearing before the Hearing Examiner in December 2016. The notice of public hearing will be mailed when the date and time has been established for the hearing.

To receive notification of the decision on this proposal, please send a self-addressed, stamped envelope and request a Notification of Decision for application CUP-16-02 from the City of Oak Harbor, Development Services Department, 865 SE Barrington Drive, Oak Harbor, WA 98277.

Lisa Bebee
Permit Coordinator

Published: Whidbey News Times
Date: October 19, 2016

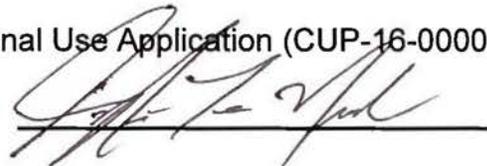
AFFIDAVIT OF POSTING

City of Oak Harbor
865 SE Barrington Drive
Oak Harbor, WA 98277

I, Douglas L. Nuckols, hereby certify that I did, on the 17 day of OCTOBER, 2016 post 1 notice(s), a copy of which is hereunto attached, marked "Exhibit", and by the reference made a part thereof, at the following location(s):

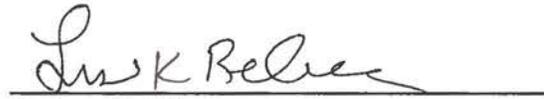
- 1. 1036 SE Pioneer Way, S7585-00-00025-0

advertising a Notice of Application for Conditional Use Application (CUP-16-00003).



(Signature of person posting)

SIGNED AND ATTESTED to before me this 17th day of October, 2016 by Douglas L. Nuckols.



Notary Public
Print Name Lisa K Bebee
Notary Public in and for the State of
Washington, Oak Harbor City/County
Commission expires Jan 19, 2020

**CERTIFICATION OF MAILING
NOTICE TO ADJACENT PROPERTY OWNERS**

I, Lisa Bebee, certify under penalty of perjury under the laws of the State of Washington, that the following is true and correct:

That on the 18th day of October, 2016, I deposited in the U.S. mail, postage prepaid, a copy of the Notice to Adjacent Property Owners for Conditional Use CUP-16-00003 a copy of which is attached hereto and by reference made a part hereof) to the following property owners:

(see attached)

Executed this 18th day of October, 2016 in Oak Harbor, Washington.

A handwritten signature in cursive script, appearing to read "Lisa Bebee", written in black ink. The signature is positioned above a horizontal line.

(Signature of person mailing)



October 18, 2016

**NOTICE TO ADJACENT PROPERTY OWNERS
NOTICE OF APPLICATION**

APPLICATION: Conditional Use CUP-16-03 Christ the King Community Church

Christ the King Community Church submitted a conditional use permit application proposing to use 1036 SE Pioneer Way for church related use. The church proposes to use an existing 5,240 square foot commercial space as a meeting hall and shared parking spaces associated with the building. The current proposal is to accommodate approximately 60 members. The proposal includes adult services and children's activities. The application was submitted on October 11, 2016 by Mr. John Ney for Christ the King Community Church and determined complete for processing on October 14, 2016. The property location is at 1036 SE Pioneer Way. Public comment period will run October 19 through November 2, 2016.

The plans have been circulated to City staff for review and comments. Plans for the proposal are available for review at the City of Oak Harbor's Development Services Department, located in City Hall. For more information, please call (360) 279-4510.

PROJECT LOCATION: Application CUP-16-03 is located at 1036 SE Pioneer Way, Oak Harbor, WA.

PUBLIC COMMENT PERIOD: To make written comments on this proposal, please mail or hand deliver specific comments to: City of Oak Harbor, Development Services Department, 865 SE Barrington Drive, Oak Harbor, WA 98277, **no later than 5:00 p.m. on November 2, 2016.** If you have questions regarding this proposal, please contact the Development Services Department at (360) 279-4510, between 8:00 a.m. and 5:00 p.m.

PUBLIC HEARING REQUIRED: This application has tentatively been scheduled for a public hearing before the Hearing Examiner in December 2016. The notice of public hearing will be mailed when the date and time has been established for the hearing.

ENVIRONMENTAL DOCUMENTS AND/OR STUDIES APPLICABLE TO THIS PROJECT: N/A

To receive notification of the decision on this proposal, please send a self-addressed, stamped envelope and request a Notification of Decision for application CUP-16-03 from the City of Oak Harbor, Development Services Department, 865 SE Barrington Drive, Oak Harbor, WA 98277.

Prosperity Investments Family LP
1582 Scenic Heights Rd
Oak Harbor, WA 98277

Whidbey island Real Estate, LLC &
Christian Skinner
791 SE Barrington Drive
Oak Harbor, WA 98277

Monroe Landing Road LLC
2480 Heights Drive
Ferndale, WA 98248

Jensen Commercial Properties LLC
32785 SR 20, STE 4
Oak Harbor, WA 98277

Villarreal, Gilbert
2515 Pond Vallee Drive
Oakland, WA MI 48363

United Methodist Church of
1050 SE Ireland Street
Oak Harbor, WA 98277

Leaf Trustee, Lynette
PO Box 67
Lopez Island, WA 98261

Waldron Construction
380 SE Pioneer Way #201
Oak Harbor, WA 98277

Coffee Ground LLC
PO Box 309
Clinton, WA 98236

Dennis & Sally Maylor
2460 SW Capital Drive
Oak Harbor, WA 98277

Midway Florist
1090 SE Pioneer Way
Oak Harbor, WA 98277

Northwest Dental
1090 SE Pioneer Way
Oak Harbor, WA 98277

Whidbey Coffee
982 SE Pioneer Way
Oak Harbor, WA 98277

STAFF REPORT

Pacific Indoor Tactical

CUP 16-04

**Pacific Indoor Tactical
Case No. CUP-16-04
Staff Report to Hearing Examiner**

APPLICATION:

Pacific Indoor Tactical proposes to convert an existing industrial building to an indoor shooting range. The existing building previously housed the Skagit Valley College automotive program and includes a large parking area on the parcel.

PRELIMINARY INFORMATION:

Applicant: Ron Wallin, 2780 Goldie Street #C, Oak Harbor, WA 98277

Property Owner: RGW Investments, LLC, 2780 Goldie Street #C, Oak Harbor, WA 98277

Address of proposal: 951 NE 21st Court, Oak Harbor, WA 98277

Parcel Number: R13326-149-2850

Comprehensive Plan Designation: Industrial, Business Park

Zoning Designation: PIP, Planned Industrial Park

Application Presented for Action:

Conditional Use Application (CUP-16-04) - Review Process III

Attachments:

Exhibit 1	Conditional Use Application and Applicant Narrative
Exhibit 2	Vicinity Map
Exhibit 3	Zoning Map
Exhibit 4	City Department Requirements
Exhibit 5	Public Noticing Documents

BACKGROUND and PROJECT DESCRIPTION:

The location of the proposed indoor shooting range is an existing industrial/commercial building that previously housed Skagit Valley College's automotive program. The building is proposed to be modified to house the indoor shooting range space in one half of the building, while the remainder is dedicated to retail display area, a classroom, office and virtual training room, and restrooms and other support areas.

As the nature of an indoor shooting range is unique, the applicant has included full plans showing construction details to ensure the safety of those using the gun range as well as those inside and outside the building.

There is no specific requirement for the number of parking spaces required for a use of this type. Working with the applicant, Staff has determined that at a maximum of three persons per shooting stall, the likelihood that each would drive their own vehicle would be slight. Therefore, two parking spaces are proposed per shooting stall. Additional spaces are provided on a square foot ratio for retail and classroom space based on the requirements of OHMC 19.44.100. Finally,

parking spaces were provided for each of four employees. The total parking required by staff using these ratios was 54 – the applicant has provided 63.

Conditional Use Permit Application

The subject parcel is currently zoned Planned Industrial Park (PIP). The site’s proposed use is not specifically listed under OHMC 19.20.605 *Principal permitted uses*, but falls under OHMC 19.20.605(20):

Uses similar to, related to, or compatible with those listed or described in this section are permitted upon a finding by the planning director that a proposed use does not conflict with the intent of this section or the policies of the Oak Harbor comprehensive plan. The criteria for such finding of similarity, relationship or compatibility shall include, but not be limited to, the following:

- (a) The proposed use will not significantly impact surrounding uses;*
- (b) The development standards for permitted uses can be met by the proposed use;*
- (c) Impacts, such as traffic, noise and air quality, will not be significantly different than those generated by permitted uses. (Ord. 1573 § 1, 2010; Ord. 1555 § 8, 2009).*

In this case, the planning director has made the finding that the proposed use meets the three criteria listed above. Additionally, the use can be considered to be similar to a training facility, and compatible with uses such as retail feed stores, various automobile repair facilities, manufacturing and assembly businesses, which are all permitted uses in the PIP zone district.

The training facility component of the business is allowed under OHMC 19.20.605 and the retail use is permitted under OHMC 19.20.610 *Accessory permitted uses*, which allows for retail uses if they do not exceed 5,000 square feet or 25% of the building’s gross floor area. The proposed use meets the size limitations as well as the criteria set forth in OHMC 19.20.610(3).

The Conditional Use Permit that is requested is in response to OHMC 6.28.010 *Discharging weapons prohibited*, which limits the discharge of weapons within City limits “except in an enclosed firing range for which a conditional use permit has been issued.”

Following OHMC 18.20.250(2)(b), the review of applications for conditional uses are Review Process III actions. Such actions are subject to an open record public hearing before the Oak Harbor Hearing Examiner, followed by a final decision by the Examiner.

SITE GEOGRAPHY

The subject building is located on the south side of NE 21st Court (formerly known as Technical Drive) near the intersection with Goldie Road. It is a generally flat parcel with little slope. The parcel includes a wooded portion on the western half, with the subject building and parking lot situated on the eastern portion.

Land uses abutting the site include the following:

	Existing Land Use	Zoning
North:	Industrial/manufacturing	PIP, Planned Industrial Park
South:	City transfer station	PF, Public Facilities
East:	Embry-Riddle Campus	PIP, Planned Industrial Park
West:	Vacant land	I, Industrial

SEPA

The proposed project does not meet the threshold for SEPA review.

LEGAL NOTICE:

The Notice of Public Hearing and notice to neighboring property owners were mailed and posted on November 18, 2016. The Notice of Application and notice to neighboring property owners were mailed and posted November 4, 2016.

PUBLIC COMMENTS:

The City has received no comment on this application.

CONDITIONAL USE REVIEW

The Oak Harbor Municipal Code 19.67 Conditional Uses, states that a conditional use permit shall be granted if certain criteria are met. The following is an analysis of the conditional use criteria:

1. All special conditions for the particular use are met.

No special conditions are established within the PIP, Planned Industrial Park zoning district for firing ranges. The approval of a conditional use permit in this situation allows for the discharge of weapons in the city limits. The facility itself will be regulated under applicable building codes for construction and safety standards. The Hearing Examiner may establish conditions of approval as provided for by OHMC 19.67.050.

2. It does not have a significant, adverse environmental impact resulting in excessive noise, light and glare or soil erosion on adjacent property.

No negative environmental impacts are expected from the proposed use. Interior construction activity is proposed which may cause limited noise impacts for a short period of time. The use of insulation and baffles should muffle noise generated within the building. No other environmental impacts are anticipated. Any noise concerns related to activities that may occur on the property shall be addressed by Chapter 6.56 of the Oak Harbor Municipal Code.

3. It is provided with adequate parking.

Staff has analyzed the parking proposed by the applicant and the justification for the number of spaces shown and believes that the proposal will easily meet the needs of the proposed use. As noted previously, two parking spaces have been provided for each shooting stall and additional spaces have been provided at the ratio prescribed by OHMC 19.44.100.

4. It is served with adequate public streets, public utilities and facilities.

The building in which the proposed use is to be housed is currently served by NE 21st Court, a public street, and the parcel is served by typical utilities. No adverse impacts on these facilities are anticipated with the proposed use in place.

5. It otherwise meets the purpose of the district in which it is to be placed.

The Purpose and intent statement found with the PIP zone district (OHMC 19.20.600) addresses aspects of the physical development of the land:

The purpose and intent of the PIP planned industrial park district is to:

(1) Encourage comprehensive planning of large industrial sites in order to create a park-like environment;

The building in which the proposed use has already been constructed. At the time, the development preserved trees around the building to create a natural environment.

(2) Preserve or create environmental amenities superior to those generally found in conventional industrial developments;

The trees preserved in the original development of the parcel meets this standard.

(3) Preserve to the greatest possible extent the natural characteristics of the land, including topography, a portion of significant natural vegetation, waterways, views, etc.;

Very little grading was done on site and trees have been maintained where possible.

(4) Establish development standards which provide compatibility with surrounding residential, commercial or other developments and offer protection from industrial blight;

This use will not create industrial blight on neighboring parcels.

(5) Provide for maximum efficiency in the layout of streets, utility networks, open space, landscaping requirements and other public improvements;

This standard will not apply for this application as there is no new physical development of the land.

(6) Provide a guide for developers and city officials in meeting the purpose and provisions of this section.

As noted in the responses to the purpose statements above, the building in which the use is proposed has already been constructed, and staff has determined that the purpose and intent statements have been adequately addressed.

6. It meets the goals and policies of the Oak Harbor Comprehensive Plan.

The proposed use is unique and as such requires a specific type of building that can generally only be found in industrial areas. As such, the applicant found an existing structure with support features such as a large parking area to suit the needs of the proposed

use. The facility is located in an already-developed area which minimizes environmental impacts, and is located in an area that will not be negatively impacted by traffic. Specifically, the project is also consistent with the following Comprehensive Plan Goals and Policies below.

Land Use Element:

Goal 1 – Promote a healthy mix of uses.

Goal 8 – To ensure that the location, situation, configuration, and relationship of the varied land uses within the UGA are consistent and compatible.

Goal 15 – To establish and maintain sufficient land within the City of Oak Harbor zoned to ensure a wide range of public and quasi-public services to meet community needs.

Transportation Element:

Goal 4.c – Encourage land use development patterns that reduce the demand for increased capacity on roadways.

RECOMMENDED ACTION:

Staff recommends that the Hearing Examiner conduct the public hearing and approve CUP-16-04 subject to the following conditions:

1. The project shall be in general conformance with the narrative and application materials submitted by the applicant dated October 20, 2016, as attached in Exhibit 1 and abide by conditions and requirements set forth within this report.
2. Applicant shall abide by all City Department conditions outlined in Exhibit 4.
3. The conditional use shall not be transferable to a subsequent user unless specifically authorized by the hearing examiner who finds it appropriate and a permit authorizing the transferability is on record with the Island County auditor.
4. The conditional use permit must be acted on within one year of the date of granting. Otherwise the conditional use permit shall expire and be null and void.
5. The conditional use permit applies only to the property for which the application is made.

EXHIBIT 1

*Conditional Use Application
and
Applicant Narrative*



RECEIVED
OCT 20 2016
CITY OF OAK HARBOR
Development Services Department

October 20, 2016

TO: City of Oak Harbor
Development Services Department
865 SE Barrington Dr.
Oak Harbor, WA 98277

RE: Conditional Use Permit Application

FOR: Indoor Firing Range
951 21st Court, Oak Harbor, WA

We are requesting a Conditional Use Permit be issued for the existing building at 951 21st Court to be purposed as an indoor firearm training facility and store.

This application contains the following:

1. This Cover Letter
2. Application Form
3. Application Fee
4. Critical Areas Identification Form
5. Proposed Conditional Use Plan
6. Narrative
7. Legal Description
8. Mailing List and Map

Please contact me at 360-675-6674 or ron@pnlgencon.com for any additional information.

Thank you,

Ron D. Wallin
President

2780 NE GOLDIE ST #C

OAK HARBOR WA 98277

360-675-6674 360-679-4605 (FAX)

AN EQUAL OPPORTUNITY EMPLOYER
SMALL DISADVANTAGED BUSINESS / NATIVE AMERICAN OWNED

(2 hits)

Chapter 6.28
DISCHARGE OF FIREARMS AND B.B. GUNS

RECEIVED**OCT 20 2016**CITY OF OAK HARBOR
Development Services Department

Sections:

- 6.28.010 Discharging weapons prohibited.
- 6.28.015 Hunting areas excepted.
- 6.28.020 Discharge of weapons by minors.
- 6.28.030 Penalty for violation.

6.28.010 Discharging weapons prohibited.

No persons, except municipal employees in their discharge of duties, shall shoot or discharge any firearm, pistol, B.B. gun or any other device likely to produce injury to persons or property within the corporate limits of the city of Oak Harbor or at the city garbage dump; **except in an enclosed firing range for which a conditional use permit has been issued.** (Ord. 395 § 1, 1974; Ord. 310 § 1, 1972; Ord. 145 § 1, 1958).

6.28.015 Hunting areas excepted.

This chapter shall not apply to anyone who discharges a firearm or other device used for hunting game in an area designated as hunting areas on the Naval Air Station, i.e., the Crescent Harbor hunting areas and the Maylor Point hunting area. (Ord. 368 § 1, 1973; Ord. 145, 1958).

6.28.020 Discharge of weapons by minors.

Any parent of a minor or any person having the custody or control of a minor who shall knowingly allow the minor to violate OHMC 6.28.010 shall be in violation hereof as if he or she may have shot or discharged the weapon. (Ord. 145 § 2, 1958).

6.28.030 Penalty for violation.

Any person violating the provisions of this chapter shall be guilty of a Class 1 infraction as defined in Chapter 1.28 OHMC. Each discharge of a weapon shall be a separate offense. (Ord. 1717 § 18, 2015; Ord. 1014 § 5, 1995; Ord. 145 § 3, 1958).

The Oak Harbor Municipal Code is current through Ordinance 1783, and legislation passed through September 20, 2016.

Disclaimer: The City Clerk's Office has the official version of the Oak Harbor Municipal Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.



City of Oak Harbor
 Development Services Department
 865 SE Barrington Drive, Oak Harbor, WA 98277
<http://www.oakharbor.org>

Phone: 360-279-4510
 Fax: 360-279-4519

RECEIVED

OCT 20 2016

CITY OF OAK HARBOR
 Development Services Department

Summary Application

Project Information

Project Name: Pacific Indoor Tactical Tenant Improvement
 Project Address: 951 21st Court, Oak Harbor, WA.
 Description of Work: Improve existing building to house an indoor firearm training facility, and store.
 Assessor Parcel Number(s): R133261492850
 Land Area (sq. ft. or acres): 2.72 ACRES Zoning District: PIP
 What is the Project Valuation (best guess, if necessary) \$ 1,200,000

Applicant Information

Applicant Name: Ron Wallin
 Address: 2780 Goldie Street #C
 City/State: Oak Harbor Zip: 98277 Phone/Fax: 360-675-6674
360-679-4605
 Email: ron@pnlgencon.com

Applicant's Interest to Property* (check one):

- Owner Owner's Agent Lessee Contractor Licensed Architect Licensed Engineer
- Other (specify) _____

Primary Contact (if other than applicant)

Name: _____
 Address: _____
 City/State: _____ Zip: _____ Phone/Fax: _____
 Email: _____

Property Owner(s) (if other than applicant)

Name: RGW Investments, LLC
 Address: 2780 NE Goldie Street #C
 City/State: Oak Harbor Zip: WA Phone/Fax: 360-914-7088
 Email: ron@pnlgencon.com

All Persons/Firms having an ownership interest in the property:

Name: Gayle Wallin Phone: 360-679-1275
Name: Ron Wallin Phone: 360-675-6674
Name: _____ Phone: _____

Architect / Engineer:

Name: Penny Turvill Address: 2905 Alpine Dr.
City/State: Oak Harbor Zip: WA Phone/Fax: 360-675-6770
Email: penny@turvill.com

Architect / Engineer:

Name: _____ Address: _____
City/State: _____ Zip: _____ Phone/Fax: _____
Email: _____

Contractor:

Name of Business: P&L General Contractors
Contact Person: Ron Wallin
Address: 2870 Goldie Street #C
City/State: Oak Harbor Zip: 98277 Phone/Fax: 360-675-6674
Email: ron@pnlgencon.com
WA State Contractors License: PLGENC*204QK
City of Oak Harbor Business License: BL-001840

Authorization

I declare under penalty of the perjury laws that the information I have provided on this form/application is true, correct, and complete.



10-19-2016

Applicant Signature*

Date

Permit Type (check all that apply)

- Building
 Land Use
 Engineering
 Grading Only
 Land Clearing Only
 Demolition Only
 Residential Construction
 Commercial Construction

Permits Requested (check all that apply)

<input type="checkbox"/> Accessory Dwelling Unit	<input type="checkbox"/> Final Plat	<input type="checkbox"/> SEPA Review
<input type="checkbox"/> Annexation	<input type="checkbox"/> Grading	<input type="checkbox"/> Site Plan
<input type="checkbox"/> Appeal	<input type="checkbox"/> Land Clearing	<input type="checkbox"/> Short Plat
<input type="checkbox"/> Binding Site Plan	<input type="checkbox"/> Lot Combination	<input type="checkbox"/> Shoreline
<input type="checkbox"/> Boundary Line Adjustment	<input type="checkbox"/> Pre-Application	<input type="checkbox"/> Transportation Concurrency
<input type="checkbox"/> Civil Plan Review	<input type="checkbox"/> PRD	<input type="checkbox"/> Variance
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Zoning Code Text Amendment
<input type="checkbox"/> Other		

Are you requesting to process the applications individually per OHMC 18.20.360(1)?
 Yes No

Project Details (fill in all applicable sections)

Ground Disturbance: Yes No If yes, completes the following questions:

Is disturbance greater than 100 cubic yards? Yes No

Type of equipment to be used _____

Total cubic yards of excavation _____ Total cubic yards of fill _____

Critical Areas:

Does the site contain a critical area as defined in OHMC 20.12.030(2) Yes No Unknown

If yes, please state critical area type(s) _____

Shoreline:

Is construction planned within 200 feet of ordinary high water? Yes No Unknown

Floodplain:

Is the project site/property/or portions of the property within a floodplain? Yes No Unknown

*Documentation demonstrating authorization to sign applications on behalf of the Owner(s) is required.

Stormwater:

Will the completed project result in 2,000 or more square feet of impervious surface? Yes No Unknown

Total replaced new and impervious surface (in sq. ft) _____

What is the stormwater facility type(s) proposed to be used for the project? _____

Project Details (fill in all applicable sections)

Land Clearing: Yes No If yes, complete the following questions:

Percentage of land to be cleared _____ Types of vegetation to be removed _____

Garry Oaks on the property? Yes No Estimated date of clearing _____

Type of equipment to be used _____

Transportation Concurrency:

Licensed Traffic Engineer N/A Phone _____ Email _____

Total length of public streets 330' Total length of private streets 390'

Existing property use SCV Automotive Program

Land Use Data:

Sq ft of new construction 0 Existing property use SVC Automotive Program

Proposed Property Use Education & retail Housing Type Proposed 0

Proposed Number of Buildings 2 existing Number of Existing Dwelling Units 2

Number of Proposed Dwelling Units 0 Number of Existing Parking Spaces 40

Number of New Parking Spaces 0 Number of Existing Lots 1

Number of New Lots Proposed 0 Proposed Density _____

*Documentation demonstrating authorization to sign applications on behalf of the Owner(s) is required.



City of Oak Harbor
 Development Services Department
 865 SE Barrington Drive, Oak Harbor, WA 98277
<http://www.oakharbor.org>

Phone: 360-279-4510
 Fax: 360-279-4519

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Summary Application

Project Information

Development Services Department

Project Name: Pacific Indoor Tactical Tenant Improvement
 Project Address: 951 21st Court, Oak Harbor, WA. 98277
 Description of Work: Improve existing building to house an indoor firearm training facility, and store.
 Assessor Parcel Number(s): R133261492850
 Land Area (sq. ft. or acres): 2.72 Acres Zoning District: PIP
 What is the Project Valuation (best guess, if necessary) \$ 1,200,000.00

Applicant Information

Applicant Name: Ron Wallin
 Address: 2780 NE Goldie Street
 City/State: Oak Harbor Zip: 98277 Phone/Fax: 360-675-6674
360-679-4605
 Email: ron@pnlgencon.com

Applicant's Interest to Property* (check one):

- Owner Owner's Agent Lessee Contractor Licensed Architect Licensed Engineer
- Other (specify) _____

Primary Contact (if other than applicant)

Name: _____
 Address: _____
 City/State: _____ Zip: _____ Phone/Fax: _____
 Email: _____

Property Owner(s) (if other than applicant)

Name: RGW Investments, LLC
 Address: 2780 NE Goldie St
 City/State: Oak Harbor Zip: 98277 Phone/Fax: 360-914-7088
 Email: ron@pnlgencon.com

All Persons/Firms having an ownership interest in the property:

Name: Gayle Wallin Phone: 360-679-1275

Name: Ron Wallin Phone: 360-675-6674

Name: _____ Phone: _____

Architect / Engineer:

Name: Penny Turvill Address: 2905 Alpine Dr

City/State: Oak Harbor Zip: 98277 Phone/Fax: 360-675-6770

Email: penny@turvill.com

Architect / Engineer:

Name: _____ Address: _____

City/State: _____ Zip: _____ Phone/Fax: _____

Email: _____

Contractor:

Name of Business: P&L General Contractors

Contact Person: Ron Wallin

Address: 2780 NE Goldie Street #C

City/State: Oak Harbor Zip: 98277 Phone/Fax: 360-675-6674

Email: ron@pnlgenccon.com

WA State Contractors License: PLGENC*204QK

City of Oak Harbor Business License: BL-001840

Authorization

I declare under penalty of the perjury laws that the information I have provided on this form/application is true, correct, and complete.

Applicant Signature*

10-19-2016

Date

Permit Type (check all that apply)

- Building
 Land Use
 Engineering
 Grading Only
 Land Clearing Only
 Demolition Only
 Residential Construction
 Commercial Construction

Permits Requested (check all that apply)

<input type="checkbox"/> Accessory Dwelling Unit	<input type="checkbox"/> Final Plat	<input type="checkbox"/> SEPA Review
<input type="checkbox"/> Annexation	<input type="checkbox"/> Grading	<input type="checkbox"/> Site Plan
<input type="checkbox"/> Appeal	<input type="checkbox"/> Land Clearing	<input type="checkbox"/> Short Plat
<input type="checkbox"/> Binding Site Plan	<input type="checkbox"/> Lot Combination	<input type="checkbox"/> Shoreline
<input type="checkbox"/> Boundary Line Adjustment	<input type="checkbox"/> Pre-Application	<input type="checkbox"/> Transportation Concurrency
<input type="checkbox"/> Civil Plan Review	<input type="checkbox"/> PRD	<input type="checkbox"/> Variance
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Zoning Code Text Amendment
<input type="checkbox"/> Other		

Are you requesting to process the applications individually per OHMC 18.20.360(1)?
 Yes No

Project Details (fill in all applicable sections)

Ground Disturbance: Yes No If yes, completes the following questions:

Is disturbance greater than 100 cubic yards? Yes No

Type of equipment to be used _____

Total cubic yards of excavation _____ Total cubic yards of fill _____

Critical Areas:

Does the site contain a critical area as defined in OHMC 20.12.030(2) Yes No Unknown

If yes, please state critical area type(s) _____

Shoreline:

Is construction planned within 200 feet of ordinary high water? Yes No Unknown

Floodplain:

Is the project site/property/or portions of the property within a floodplain? Yes No Unknown

*Documentation demonstrating authorization to sign applications on behalf of the Owner(s) is required.

Stormwater:

Will the completed project result in 2,000 or more square feet of impervious surface? Yes No Unknown

Total replaced new and impervious surface (in sq. ft) _____

What is the stormwater facility type(s) proposed to be used for the project? _____

Project Details (fill in all applicable sections)

Land Clearing: Yes No If yes, complete the following questions:

Percentage of land to be cleared _____ Types of vegetation to be removed _____

Garry Oaks on the property? Yes No Estimated date of clearing _____

Type of equipment to be used _____

Transportation Concurrency:

Licensed Traffic Engineer N/A Phone _____ Email _____

Total length of public streets 330 FT Total length of private streets 390 FT

Existing property use SVC Automotive Program

Land Use Data:

Sq ft of new construction 0 Existing property use SVC Automotive Program

Proposed Property Use Education and Retail Housing Type Proposed 0

Proposed Number of Buildings 2 existing Number of Existing Dwelling Units 3

Number of Proposed Dwelling Units 0 Number of Existing Parking Spaces 40

Number of New Parking Spaces 0 Number of Existing Lots 1

Number of New Lots Proposed 0 Proposed Density _____

*Documentation demonstrating authorization to sign applications on behalf of the Owner(s) is required.



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Development Services Department

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CITY OF OAK HARBOR
 Development Services Department

Critical Area Identification Form

Project Name (if applicable):
Pacific Indoor Tactical Tenant Improvement

Associated Application(s):
Conditional Use, and Building Permit

Brief Description of Proposal:

APPLICANT NAME/CONTACT PERSON (or legal representative): Ron Wallin	Address: 2780 NE Goldie Steet #C Oak Harbor, WA. 98277
E-mail Address: ron@pnlgencn.com	Phone and Fax: 360-675-6674
PROPERTY OWNER NAME (list multiple owners on a separate sheet): RGW Investments, LLC Ron & Gayle Wallin	Address: 2780 NE Goldie Street #C Oak harbor, WA. 98277
E-mail Address: ron@pnlgencn.com	Phone and Fax: 360-675-6674

AUTHORIZATION:

The undersigned hereby certifies that the property affected by this application is in the exclusive ownership of the applicant or that the applicant has submitted the application with the consent of all owners of the affected property. In addition, the undersigned hereby certifies that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient cause for denial of the request.

I declare under penalty of the perjury laws that the information I have provided on this form/application is true, correct and complete.

Authorized Signature

Date

10-19-2016

Staff use only below this line

Yes	No		Critical Area Report Needed?
<input type="checkbox"/>	<input type="checkbox"/>	Wetland	_____
<input type="checkbox"/>	<input type="checkbox"/>	Fish and Wildlife Habitat Conservation Area	_____
<input type="checkbox"/>	<input type="checkbox"/>	Geologically Sensitive Area	_____
<input type="checkbox"/>	<input type="checkbox"/>	Frequently Flooded Area	_____
<input type="checkbox"/>	<input type="checkbox"/>	Critical Aquifer Recharge Area	_____



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October 20, 2016

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TO: City of Oak Harbor
Development Services Department
865 SE Barrington Dr.
Oak Harbor, WA 98277

CITY OF OAK HARBOR
Development Services Department

FOR: 951 21st Court, Oak Harbor, WA

RE: Conditional Use Permit Application

SUBJ: Proposed Conditional Use Plan

1. Vicinity Map: See Attached
2. Address of Property: 951 21st Court, Oak Harbor
3. Parcel Number: R133261492850
4. Existing Zoning: P.I.P.
5. Location of Existing Property Lines: See Attached
6. Location, Size, etc., of Structures: See Attached
7. Total Lot Area: 118,800 SF
8. Existing Streets: 21st Court is existing which butts up to Goldie Street. The property is on the Southeast corner of Goldie St. and 21st Court as shown on vicinity map attached.
9. Map requirements are on vicinity map.
10. Type of conditional use is written on the plan.

Please contact me at 360-675-6674 or ron@pnlgencon.com for any additional information.

Thank you,

Ron D. Wallin
President

2780 NE GOLDIE ST #C

OAK HARBOR WA 98277

360-675-6674 360-679-4605 (FAX)

AN EQUAL OPPORTUNITY EMPLOYER
SMALL DISADVANTAGED BUSINESS / NATIVE AMERICAN OWNED



October 20, 2016

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TO: City of Oak Harbor
Development Services Department
865 SE Barrington Dr.
Oak Harbor, WA 98277

OCT 20 2016

CITY OF OAK HARBOR
Development Services Department

FOR: 951 21st Court, Oak Harbor, WA

RE: Conditional Use Permit Application

SUBJ: Narrative

I am requesting a Conditional Use Permit per Ord. 395 1, 1974; Ord. 310 1, 1972; Ord. 145 1, 1958 to operate an indoor firing range discharging of firearms.

The firing range I feel meets the following six criteria required for the Conditional Use Permit.

1. The range meets all special conditions for the use.
2. The remodeling of the existing building will be such as to meet the requirements for safety, noise, light and glare, and will not create any soil erosion on adjacent property.
3. The existing parking area will be more than adequate for the parking needed and required.
4. The range is served with adequate public streets, public utilities and facilities.
5. I feel that this property meets the purpose of the district in which it is to be.
6. I feel that the firing range meets the goals and policies of the Oak Harbor Comprehensive Plan in the area and use.

The existing building located at 951 21st Court is owned by Ron and Gayle Wallin thru their LLC, "R.G.W. Investments L.L.C." The existing building was owned by the State of Washington and Skagit Valley College and was used for several years as the Auto, Marine, and Wood Tech Teaching Center.

P & L General Contractors has applied for a building permit for the remodel of this building of this building to create the firing range which will be built to the latest standards and requirements for sound, ballistics and fire requirements along with the ventilation requirements for a firing range.

2780 NE GOLDIE ST #C

OAK HARBOR WA 98277

360-675-6674 360-679-4605 (FAX)

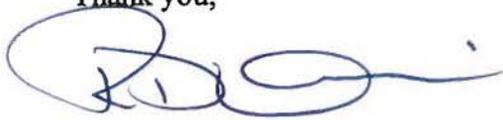
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The firing range will be called "Pacific Indoor Tactical" and be owned and operated by Pacific Indoor Tactical, LLC, also known as "The P.I.T.," with ownership of the LLC by Lucas Yonkman, Michael "Ryan" Wallin, and Aaron "Mike" Fletcher. The number one priority of The P.I.T. is training and safety on the use of firearms. This business will have high security, safety, and be an excellent addition to the community, open to all.

The attached plans show the existing building and site plan along with all the details of the remodel to meet the building code requirements along with the safety requirements. Along with the actual range area shown is the retail area, vault type storage, training room area, and restrooms.

Please contact me at 360-675-6674 or ron@pnlgencon.com for any additional information.

Thank you,



Ron D. Wallin
President

LEGAL DESCRIPTION

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Development Services Department

PARCEL A:

That part of the West Half of the South 330 feet of the Northwest Quarter of the Southeast Quarter of Section 26, Township 33 North, Range 1 East of the Willamette Meridian, described as follows:

Beginning at the Northwest corner of the West Half of the South 330 feet of the Northwest Quarter of the Southeast Quarter of Section 26, Township 33 North, Range 1 East of the Willamette Meridian;
thence South $88^{\circ}34'41''$ East along the North line of said South 330 feet, 36.37 feet to a point on the Easterly margin of the county road known as Goldie Road, said point being the true point of beginning;
thence continuing South $88^{\circ}34'41''$ East along the North line of said South 330 feet, 390 feet;
thence South $1^{\circ}25'19''$ West 330.11 feet, to the South line of the Northwest Quarter of the Southeast Quarter of said section;
thence North $88^{\circ}34'24''$ West along said South line 326.50 feet to the Easterly margin of the county road known as Goldie Road;
thence Northwesterly along the Easterly margin of said county road to the true point of beginning.

PARCEL B:

A nonexclusive easement for ingress, egress and utilities over the North 30 feet of the South 360 feet of the Northwest Quarter of the Southeast Quarter of Section 26, Township 33 North, Range 1 East of the Willamette Meridian.

ALL situate in Island County, Washington.



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October 20, 2016

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TO: City of Oak Harbor
Development Services Department
865 SE Barrington Dr.
Oak Harbor, WA 98277

CITY OF OAK HARBOR
Development Services Department

FOR: 951 21st Court, Oak Harbor, WA

RE: Conditional Use Permit Application

SUBJ: Adjacent Properties within 300 Feet, Mailing List and Map

- 1) R13326-182-3010
DNB Facilities Development, LLC
PO Box 1003
Coupeville, WA 98239
- 2) R13326-149-3180
Oak Harbor Investment Group
c/o Matt Riduff
7235 West Ridge Rd.
Mercer Island, WA 98040
- 3) R13326-149-3400
State of Washington
General Admin Bldg./Property
Skagit Valley College
Olympia, WA 98504-0001
- 4) R13326-112-2950
City of Oak Harbor
865 SE Barrington Dr.
Oak Harbor, WA 98277

2780 NE GOLDIE ST #C

OAK HARBOR WA 98277

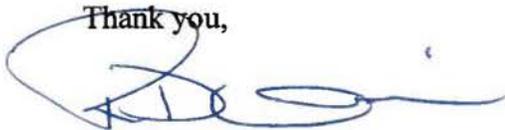
360-675-6674 360-679-4605 (FAX)

AN EQUAL OPPORTUNITY EMPLOYER
SMALL DISADVANTAGED BUSINESS / NATIVE AMERICAN OWNED

- 5) R13326-101-4180
City of Oak Harbor
865 SE Barrington Dr.
Oak Harbor, WA 98277
- 6) R13326-182-2300
White Trustee, Reginald Allen
Corrine Hinz White Trustee
2151 NE Goldie St., A-1
Oak Harbor, WA 98277
- 7) R13326-150-1970
TIPROC Corporation
305 Stanford Ave
Menlo Park, CA 94025-6239
- 8) R13326-083-2220
Mangat Properties, LLC
PO Box 1692
Marysville, WA 98270

Please contact me at 360-675-6674 or ron@pnlgencon.com for any additional information.

Thank you,



Ron D. Wallin
President

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OCT 20 2016
CITY OF OAK HARBOR
Development Services Department

R13326-182-2300

R13326-182-3010

DNB FACILITIES DEV.
(T.S.I)
#1

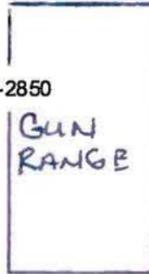
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Technical Dr

#7

R13326-149-2850

951
21ST COURT



#2

R13326-149-3180

R13326-149-3400

#3

R13326-149-3550

R13326-149-3720

R13326-149-3870

R13326-150-1970

GOLDIE ST

#4

CITY OF OAK HARBOR
R13326-112-2950

#5

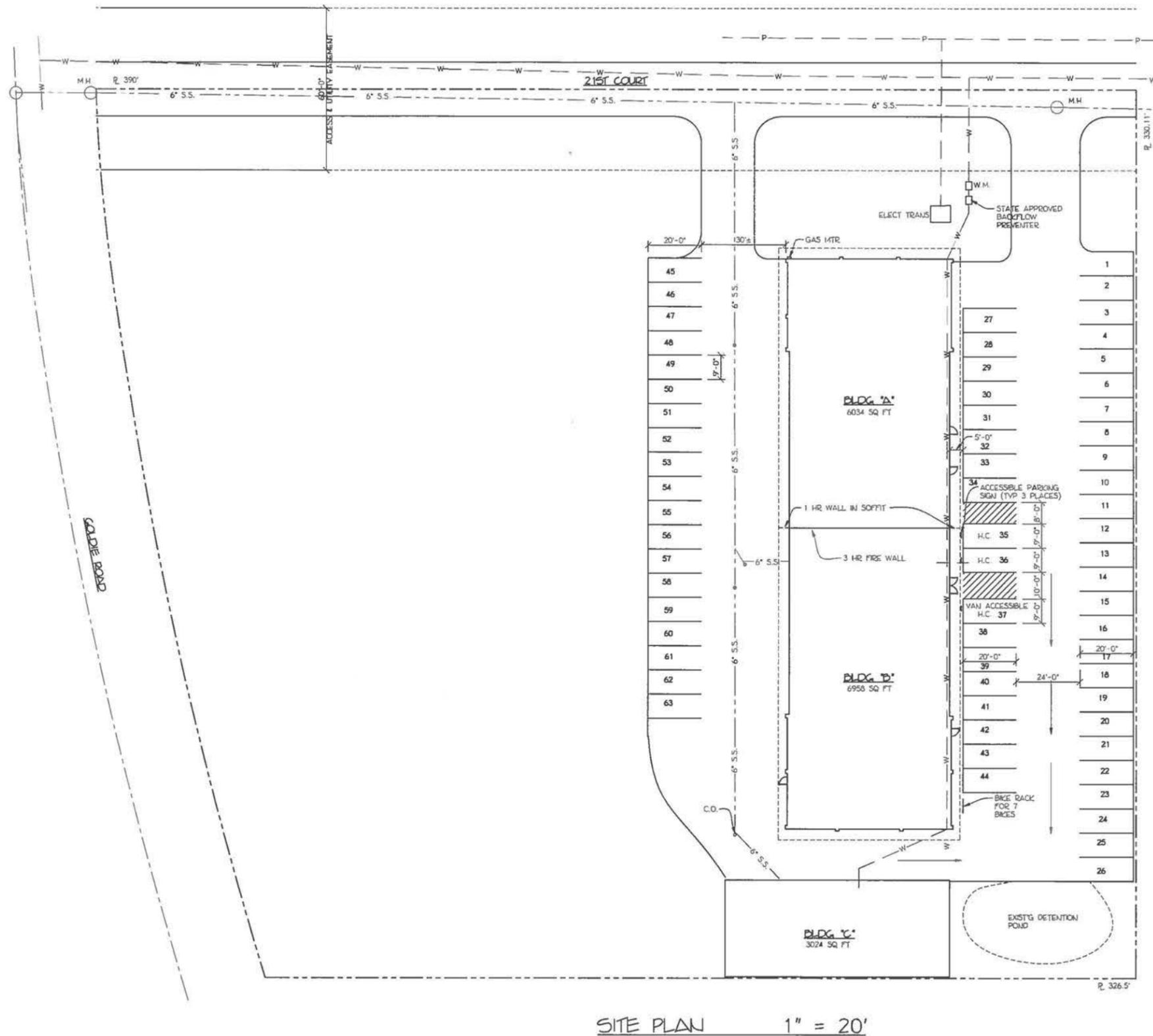
CITY OF OAK HARBOR

#8

R13326-083-2220

R13326-101-4180

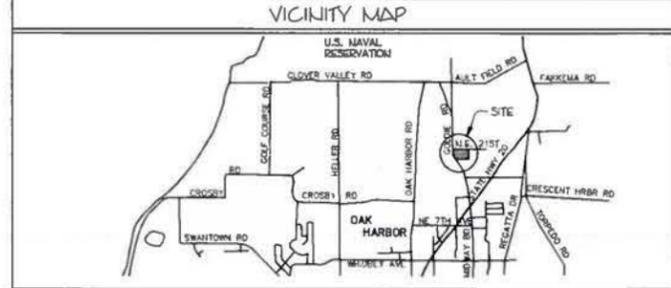




SITE PLAN 1" = 20'

GENERAL NOTES	
1. SITE ADDRESS:	951 N.E. 21ST COURT
2. TAX PARCEL #:	R13326-149-2850
3. PROPOSED USE: BLDG "A" BLDG "B" BLDG "C"	GUN RANGE RETAIL, OFFICE, TRAINING OFFICE
4. ZONING:	EXISTING INDUSTRIAL PARK
5. OCCUPANCY GROUP: BLDG "A" BLDG "B" BLDG "C"	A, B, M
6. CONSTRUCTION TYPE: BLDG "A" & "B" BLDG "C"	TYPE VA TYPE VB
7. BUILDING AREA: BLDG "A" BLDG "B" BLDG "C"	6,034 SQ FT 6,958 SQ FT 3,024 SQ FT (2031 FINISHED SPACE)
8. OCCUPANCY LOAD: BLDG "A" GUN RANGE	13 STALLS @ 3 PER STALL = 39
BLDG "B" RETAIL TRAINING/CLASSROOMS OFFICE:	3383 SQ FT @ 60 SQ FT PER OCCUPANT = 56.4 1330 SQ FT @ 20 SQ FT PER OCCUPANT = 66.5 549 SQ FT @ 100 SQ FT PER OCCUPANT = 5.49
BLDG "C" 1ST FL OFFICE SHOP 2ND FL OFFICE 2ND FL CONFERENCE:	1263 SQ @ 100 SQ FT PER OCCUPANT = 12.63 768 SQ FT @ 100 SQ FT PER OCCUPANT = 7.7 271 SQ FT @ 100 SQ FT PER OCCUPANT = 2.7 256 SQ FT @ 15 SQ FT PER OCCUPANT = 17
9. PARKING REQUIRED: BLDG "A" GUN RANGE	13 STALLS @ 2 PER STALL = 26
BLDG "B" RETAIL TRAINING/CLASSROOMS EMPLOYEES:	3383 SQ FT @ 1/300 SQ FT = 11 1330 SQ FT @ 1/200 SQ FT = 7 1 PER EMPLOYEE = 6
BLDG "C" EMPLOYEES:	1 PER EMPLOYEE = 4
TOTAL REQUIRED:	54
TOTAL PROVIDED:	63 CARS
10. PROVIDE A FIRE DEPARTMENT APPROVED KEY BOX IN APPROVED LOCATION	

LIST OF DRAWINGS	
A1	SITE PLAN - GENERAL NOTES - LIST OF DRAWINGS - VICINITY MAP
A2	MAIN FLOOR PLAN - GENERAL NOTES - WALL TYPES - DISPLAY LAYOUT - DETAILS
A3	DOOR & WINDOW SCHEDULE - INTERIOR ELEVATIONS - RESTROOM PLAN - DETAILS
A4	BUILDING SECTIONS
A5	FIRING RANGE SECTIONS
A6	REFLECTED CEILING PLAN - BAFFLE HANGING POINTS
A7	BAFFLE PLANS - BAFFLE SECTIONS - DETAILS
S1	FOUNDATION PLAN
S0.00	GENERAL NOTES
S0.01	GENERAL NOTES AND ABBREVIATIONS
S1.01	MAIN FLOOR FRAMING PLAN
S1.02	BAFFLE SUPPORT FRAMING PLAN
S1.03	ROOF FRAMING PLAN
S4.01	SECTIONS AND DETAILS
E1	ELECTRICAL RISER DIAGRAM
E2	ELECTRICAL FLOOR PLAN
E3	ELECTRICAL ROOF PLAN
E4	ELECTRICAL LIGHTING PLAN
M-0	MECHANICAL COVER SHEET
M-1	SHOOTING RANGE AIRWALL/ HVAC PLAN
M-2	SHOOTING RANGE ROOFTOP HVAC PLAN
M3	MECHANICAL PLAN BLDG "B"
SHT 1	SANITARY SEWER PLAN
SHT 2	SANITARY SEWER NOTES & DETAILS



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OCT 20 2016

CITY OF OAK HARBOR
Development Services Department



henriette w. (penny) turvill architect
 phone & fax: (360) 675-6770
 e-mail: penny@turvill.com
 2905 alpine drive
 oak harbor, wa 98277

SITE PLAN
 GENERAL NOTES
 VICINITY MAP

TENANT IMPROVEMENTS for
 RGW INVESTMENTS LLC / PACIFIC INDOOR TACTICAL
 2780 N.E. Calkie St, #C
 Oak Harbor, Wa 98277

10/3/16
 REVISIONS

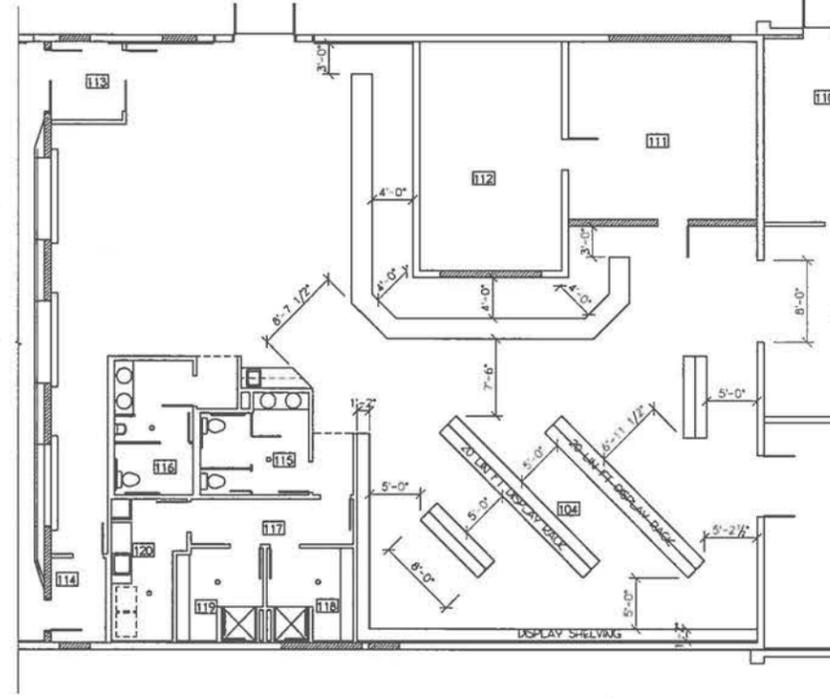
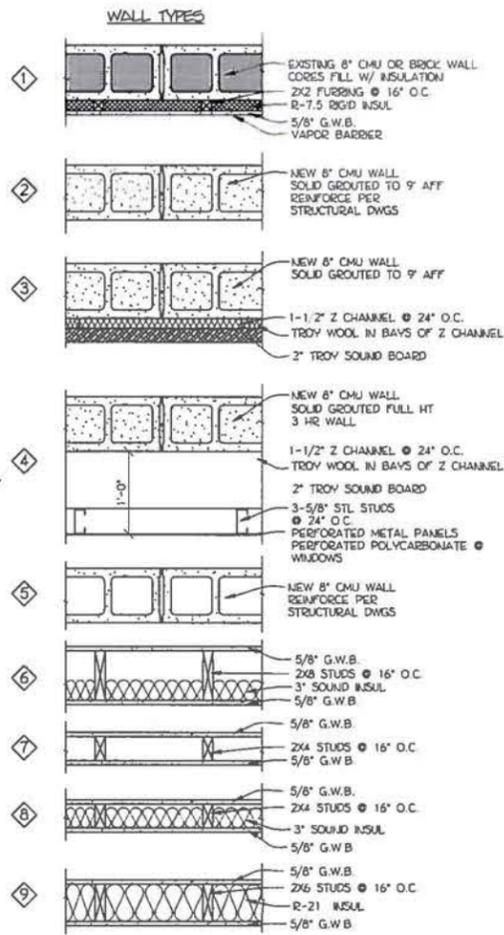
A1
 N SHEETS

GENERAL NOTES

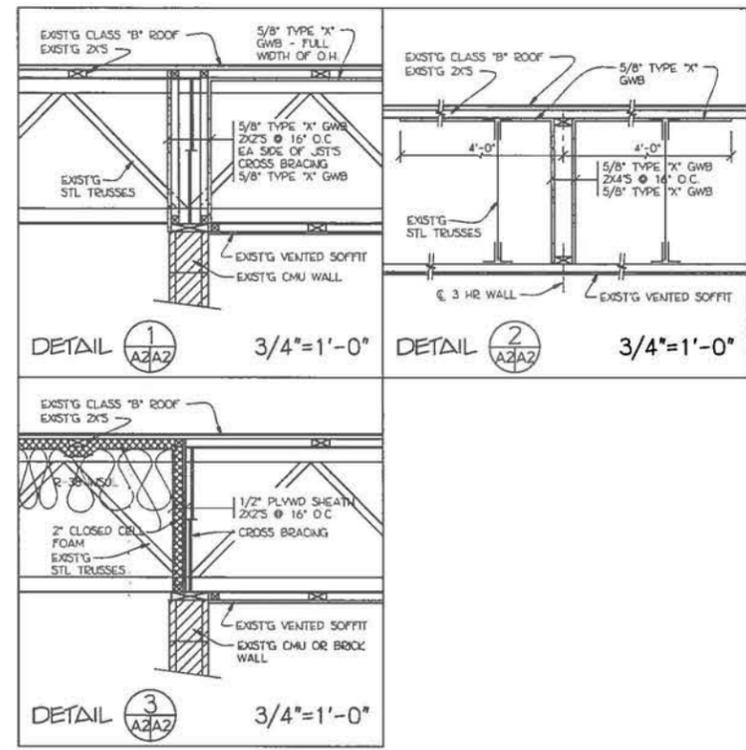
- All work must comply with currently adopted versions of applicable codes, including, but not necessarily limited to, the Uniform Building Code, Uniform Mechanical Code, National Electrical Code and Washington State Energy Code. Should conflicts arise between any code requirements and information shown on these drawings, the applicable code shall govern.
- All lumber and structural timbers shall meet the minimum grading standards defined by applicable codes and as shown on the drawings. Beams and structural timbers shall be D.F. #2 or better, except where otherwise specified. Joints and rafters shall be hem/fir #2 or better, except where otherwise specified.
- Provide double 2x10 headers at all openings in interior bearing partitions except where shown otherwise on the drawings.
- All glazing materials installed within 12" of any door opening and less than 50" above floor level, or within 18" of any floor shall be tempered safety glazing.
- All appliances shown on the plans shall be installed in compliance with applicable codes. All fresh air, exhaust, and relief valve vents shall exit outside of the structure in an approved manner. Water heaters shall be installed with seismic restraints per U.M.C. Section 504d.
- All insulation shown on drawings shall be installed with clearances for venting, lights, and other devices in accordance with manufacturers' recommendations.
- All exterior joints shall be sealed, caulked, gasketed, or weatherstripped in accordance with W.S.E.C., 502.4.3

NOISE ORDINANCE NOTES SUBDISTRICT C

- This structure is proposed for construction in Subdistrict C, as defined by City of Oak Harbor Ordinance 929. Measures to achieve NLR of 30 must be incorporated.
- Exterior walls shall have an average laboratory sound transmission class rating of at least STC-35. (17.30.185)
- Exterior windows shall be double glazed with min 1/2" air space and have a laboratory sound transmission class rating of at least STC-33. (17.30.190)
- Exterior doors shall have a laboratory sound transmission class rating of at least STC-33. (17.30.195)
- Combined ceiling and roof construction shall have an average laboratory sound transmission class rating of at least STC-44 (17.30.200)
- A ventilation system shall be installed to provide the minimum required air circulation in occupied rooms without the need to open any doors, windows, or other openings to the exterior. Inlet and discharge openings shall be fitted with sheet metal ducts of at least 20 gauge steel, lined with 1" thick coated glass fiber, and shall be at least 5 feet long with one 90 degree bend. (17.30.175(a))
- Exhaust fans ducts shall contain at least a 5-foot length of internal sound-absorbing duct lining. Exhaust ducts less than 10 feet in length shall be fully lined. Each duct shall be provided with a lined 90-degree bend such that there is no line-of-sight between the ends. Duct lining shall be coated glass fiber at least 1" thick, and non-moisture-absorbent. (17.30.215 (c))



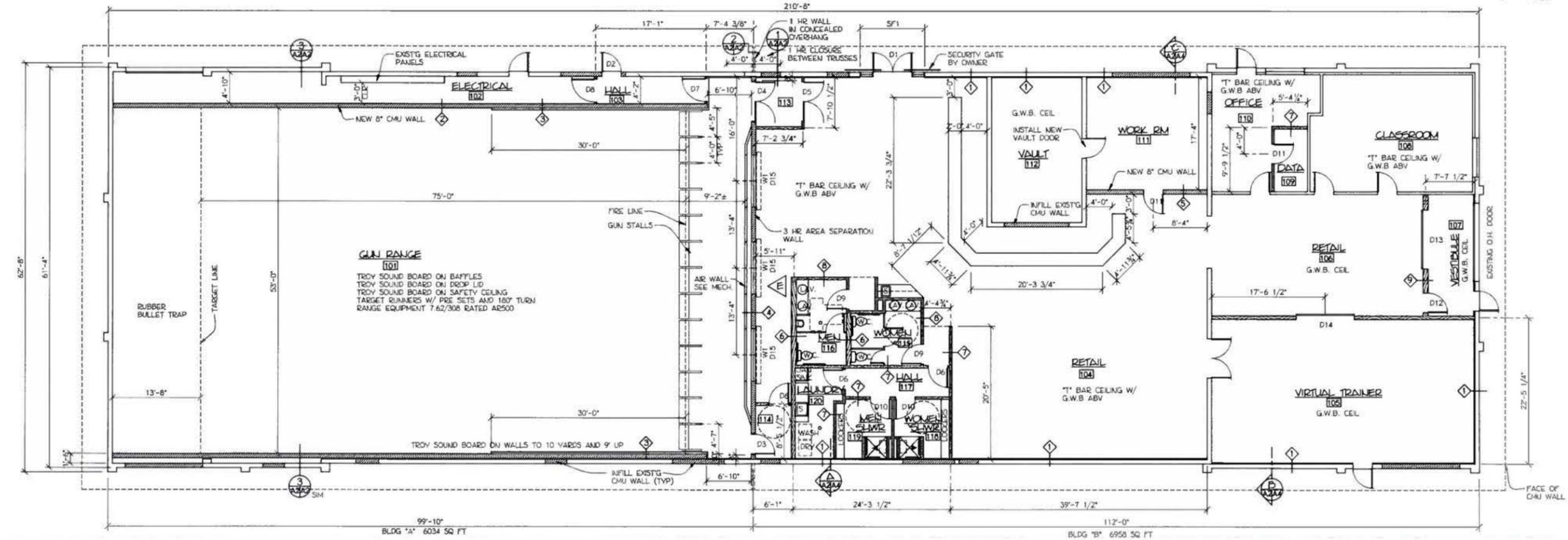
DISPLAY LAYOUT 1/8" = 1'-0"



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OCT 20 2016

CITY OF OAK HARBOR
Development Services Department



MAIN FLOOR PLAN 1/8" = 1'-0"



henriette w. (penny) turvill architect
phone & fax: (360) 675-6770
e-mail: penny@turvill.com
2905 alpine drive
oak harbor, wa 98277

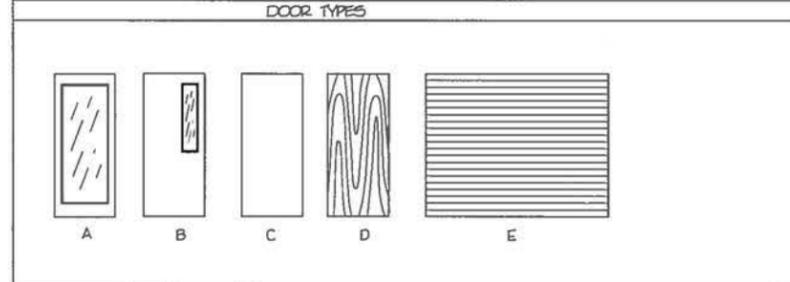
MAIN FLOOR PLAN
GENERAL NOTES
WALL TYPES
DISPLAY LAYOUT -DETAILS

TENANT IMPROVEMENTS FOR
RGW INVESTMENTS LLC / PACIFIC INDOOR TACTICAL
951 N.E. 21st Court
Oak Harbor, Wa 98277

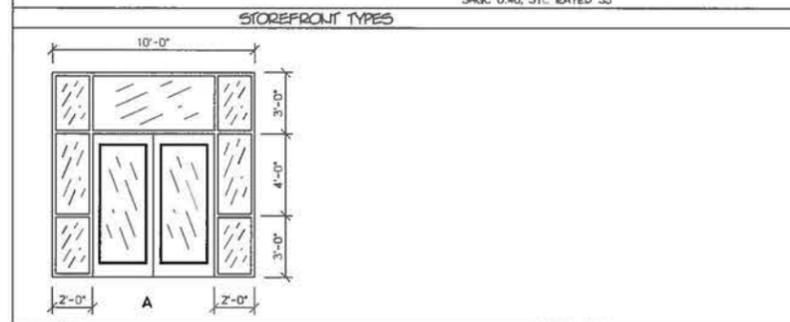
10/3/16
REVISIONS



DOOR SCHEDULE						
SYMB	TYPE	MATL	DIMENSIONS	CORE	FRAME	REMARKS
D1	A	AL	PR 30 X 70	AL	AL	TEMP INSUL GL W/ BELITE ABOVE (5/8" MIN AIR SPACE) COORDINATE W/ STOREFRONT SYSTEM SFI OVERALL HT 10'
D2	B	H.M.	30 X 70	INSUL	H.M.	W/ PANIC HARDWARE, MAX U - VALUE 0.37 TEMP GL
D3	C	H.M.	30 X 68	H.M.	H.M.	3 HR RATED
D4	C	H.M.	PR 30 X 70	H.M.	H.M.	3 HR RATED
D5	D	WOOD	PR 30 X 70	SC	H.M.	
D6	D	WOOD	30 X 68	SC	H.M.	
D7	D	WOOD	30 X 68	SC	H.M.	PANIC HARDWARE
D8	D	WOOD	30 X 68	SC	H.M.	
D9	D	WOOD	30 X 68	SC	H.M.	W/ SELF CLOSER, PUSH/PULL
D10	D	WOOD	30 X 68	SC	H.M.	PRIVACY LOCK
D11	D	WOOD	30 X 68	SC	H.M.	
D12	D	WOOD	30 X 68	SC	H.M.	PANIC HARDWARE
D13	E	STEEL	99 X 70	INSUL		O.H. DOOR MODEL 627 STC RATED 21 OR EQUAL
D14	E	STEEL	99 X 70			ROLL-UP O.H. DOOR
D15	E	STEEL	60 X 49 OPENING			O.H. DOOR MODEL 641 ROLL-UP SHUTTER 3 HR RATED OR EQUAL

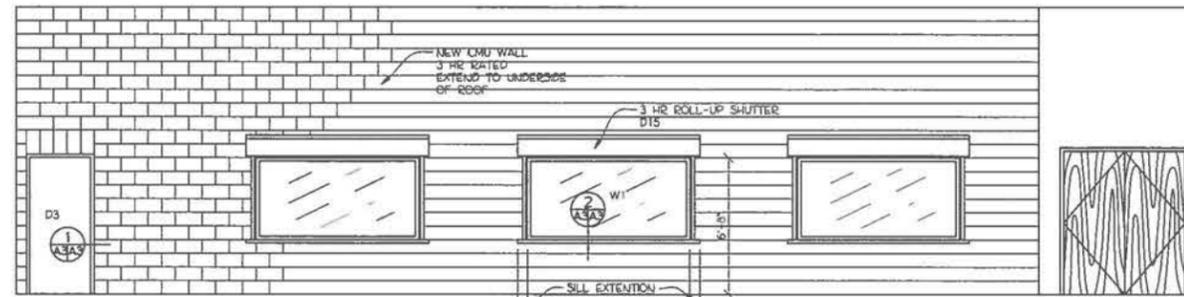


STOREFRONT SCHEDULE					
SYMB	TYPE	MATL	DIMENSIONS	FRAME	REMARKS
SF1	A	AL	100 X 100	ALUM	TEMP INSUL GL (1/2" MIN AIR SPACE) MAX U-VALUE WINDOW AREA 0.38 MAX U-VALUE ENTRANCE DOOR 0.60 SHGC 0.40, STC RATED 33

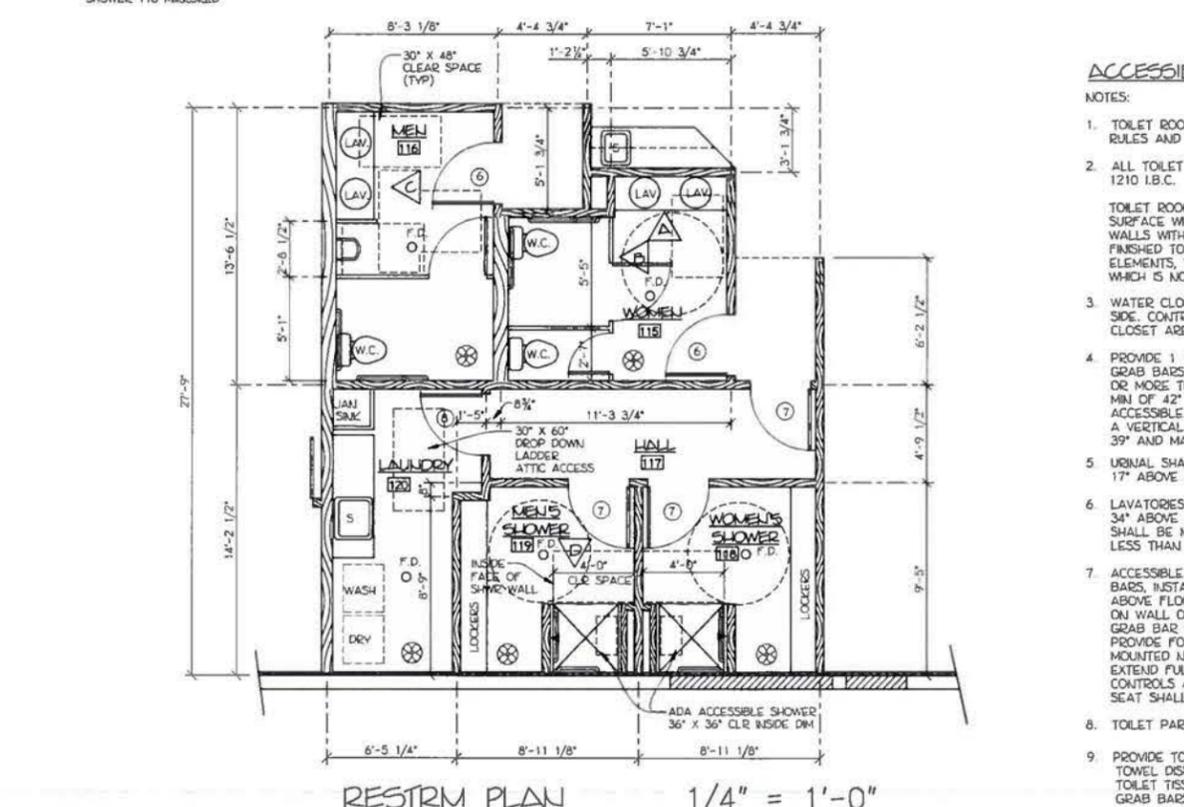
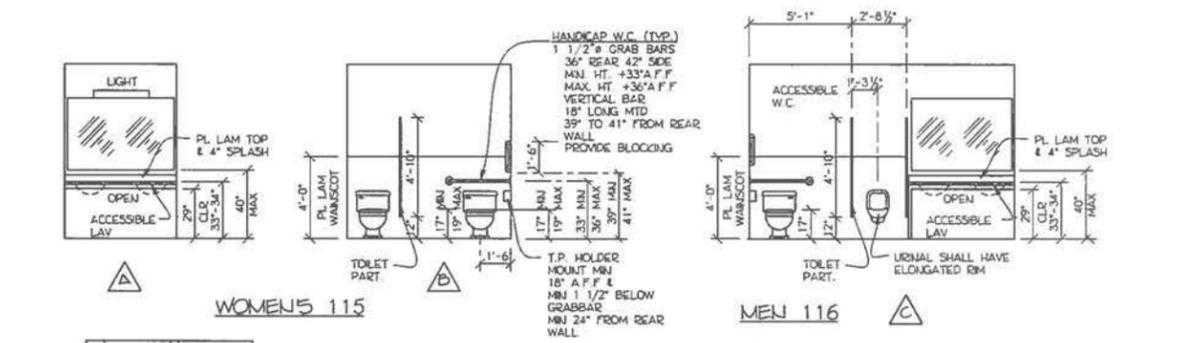


WINDOW SCHEDULE				
SYMB	TYPE	MATL	DIMENSIONS	REMARKS
W1	A	METAL	40 X 80	INSUL GL WITH BULLET PROOF GLASS GUN RANGE SIDE

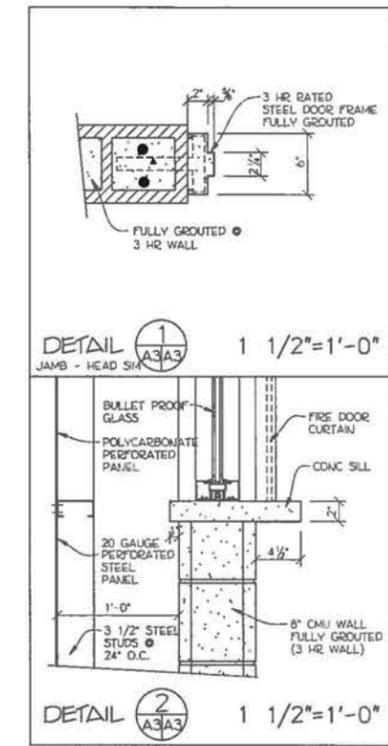
WINDOW TYPES



3 HR CMU WALL ELEV 1/4" = 1'-0"



RESTRM PLAN 1/4" = 1'-0"



DETAIL 1 1 1/2" = 1'-0"

DETAIL 2 1 1/2" = 1'-0"

ACCESSIBLE RESTROOMS 1/4" = 1'-0"

- NOTES:
- TOILET ROOM TO COMPLY WITH LATEST EDITION OF WASHINGTON STATE RULES AND REGULATIONS FOR BARBER FREE DESIGN.
 - ALL TOILET ROOM FLOORS AND WANKSCOTING SHALL COMPLY WITH SEC. 1210 I.B.C.
 - TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NON-ABSORBEJIT SURFACE WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 5 INCHES. WALLS WITHIN WATER CLOSET COMPARTMENTS SHALL BE SIMILARLY FINISHED TO A HEIGHT OF 4 FEET AND, EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE.
 - WATER CLOSET SHALL HAVE CLEAR SPACE 18" ON ONE SIDE AND 42" ON OTHER SIDE. CONTROLS SHALL BE MOUNTED FOR USE FROM THE WIDE SIDE OF WATER CLOSET AREA AND NOT MORE THAN 44" ABOVE FLOOR.
 - PROVIDE 1 1/2" GRAB BARS AT ACCESSIBLE WATER CLOSET. LOCATE GRAB BARS AT SIDE AND BACK. TOP OF BARS SHALL BE NOT LESS THAN 33" OR MORE THAN 36" ABOVE AND PARALLEL TO FLOOR. SIDE BAR SHALL BE A MIN OF 42" WITH FRONT END POSITIONED NOT LESS THAN 18" IN FRONT OF ACCESSIBLE W.C. GRAB BAR LOCATED AT BACK SHALL BE MINIMUM OF 36". A VERTICAL BAR 18" IN LENGTH SHALL BE MTD WITH BOTTOM OR BAR MIN OF 39" AND MAX 41" A.F.F. AND CENTER LINE LOCATED 39" - 41" FROM REAR WALL.
 - URINAL SHALL BE WALL HUNG WITH AN ELONGATED RM AT A MAXIMUM HEIGHT OF 17" ABOVE FLOOR. CONTROLS SHALL BE MOUNTED NOT MORE THAN 44" ABOVE FLOOR.
 - LAVATORIES SHALL BE MOUNTED WITH RM OR COUNTER SURFACE NO HIGHER THAN 34" ABOVE FLOOR. PROVIDE CLEAR SPACE 17" DEEP OF WHICH TOE CLEARANCE SHALL BE NOT MORE THAN 6" OF TOTAL DEPTH. KNEE CLEARANCE SHALL BE NOT LESS THAN 29" IN HEIGHT AND 30" IN WIDTH.
 - ACCESSIBLE SHOWER STALL SHALL BE TRANSFER TYPE. PROVIDE 1 1/2" GRAB BARS, INSTALLED PARALLEL TO GROUND, NOT LESS THAN 33" OR MORE THAN 36" ABOVE FLOOR. GRAB BAR NOT LESS THAN 18 INCHES IN LENGTH SHALL BE INSTALLED ON WALL OPPOSITE CLEAR SPACE. ONE END SHALL TERMINATE AT WALL SEAT. GRAB BAR NOT LESS 27" SHALL BE INSTALLED ON WALL OPPOSITE CONTROLS PROVIDE FOLD DOWN SEAT COMPLYING WITH THE FOLLOWING: SEAT SHALL BE MOUNTED NOT LESS THAN 17" AND NOT MORE THAN 19" ABOVE FLOOR AND SHALL EXTEND FULL DEPTH OF STALL. SEAT SHALL BE LOCATED ON WALL OPPOSITE CONTROLS AND SHALL BE MOUNTED NOT MORE THAN 1-1/2" FROM SHOWER WALLS. SEAT SHALL BE NOT MORE THAN 16" IN WIDTH.
 - TOILET PARTITIONS TO BE FLOOR MTD, TOP BRACED, WITH PLASTIC LAMINATE FINISH.
 - PROVIDE TOILET ACCESSORIES AS FOLLOWS: (BOBRICK OR EQUAL) TOWEL DISPENSER: 1 PER ROOM. TOILET TISSUE DISPENSER: 1 PER WATER CLOSET. GRAB BARS: 1 PAIR PER HANDICAP WATER CLOSET.

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Development Services Department

REGISTERED ARCHITECT
HENRIETTE W. TURVILL
STATE OF WASHINGTON

architect
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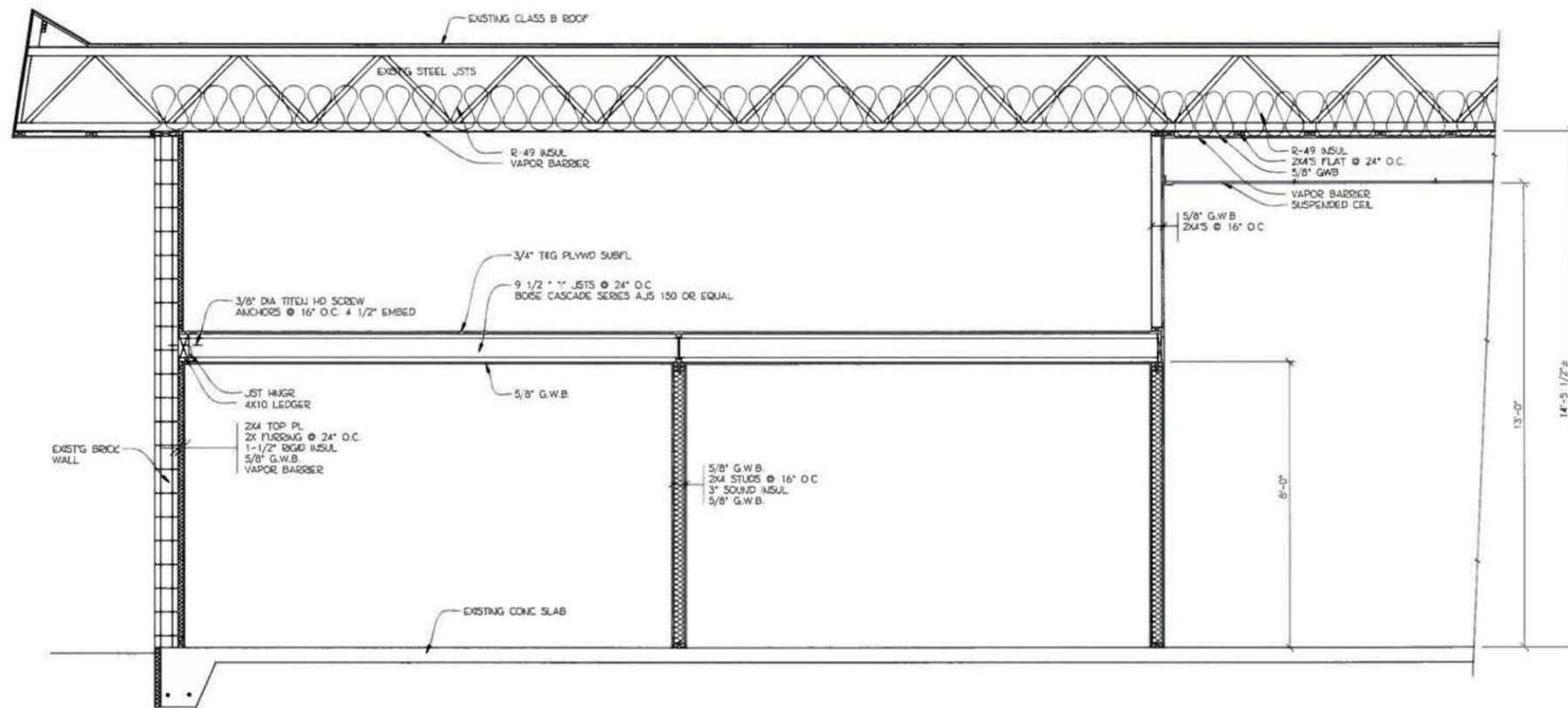
2905 alpine drive
oak harbor, wa 98277

DOOR & WINDOW SCHEDULE
INTERIOR ELEVATIONS
RESTROOM PLAN
DETAILS

TENANT IMPROVEMENTS for
RGW INVESTMENTS LLC / PACIFIC INDOOR TACTICAL
951 N.E. 21st Court
Oak Harbor, Wa 98277

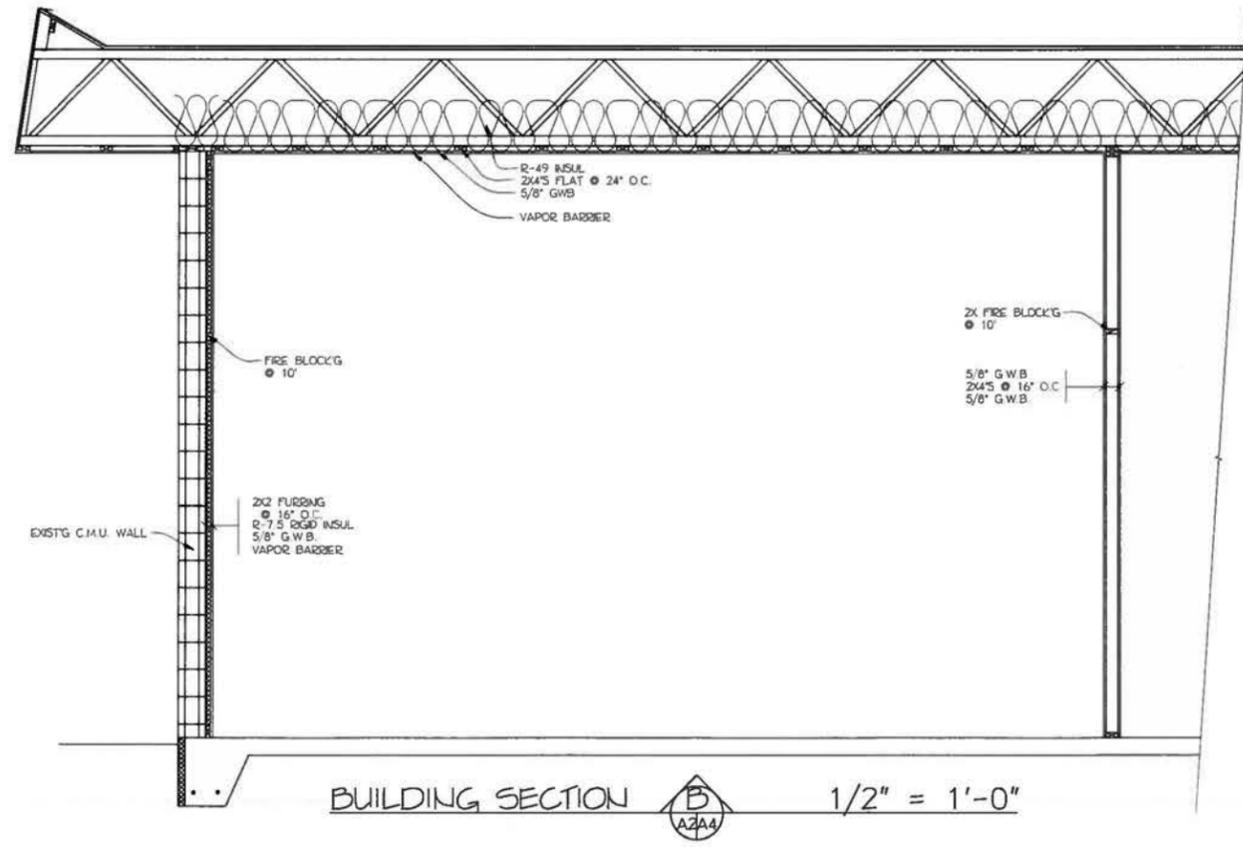
10/3/16
REVISIONS

A3
N SHEETS

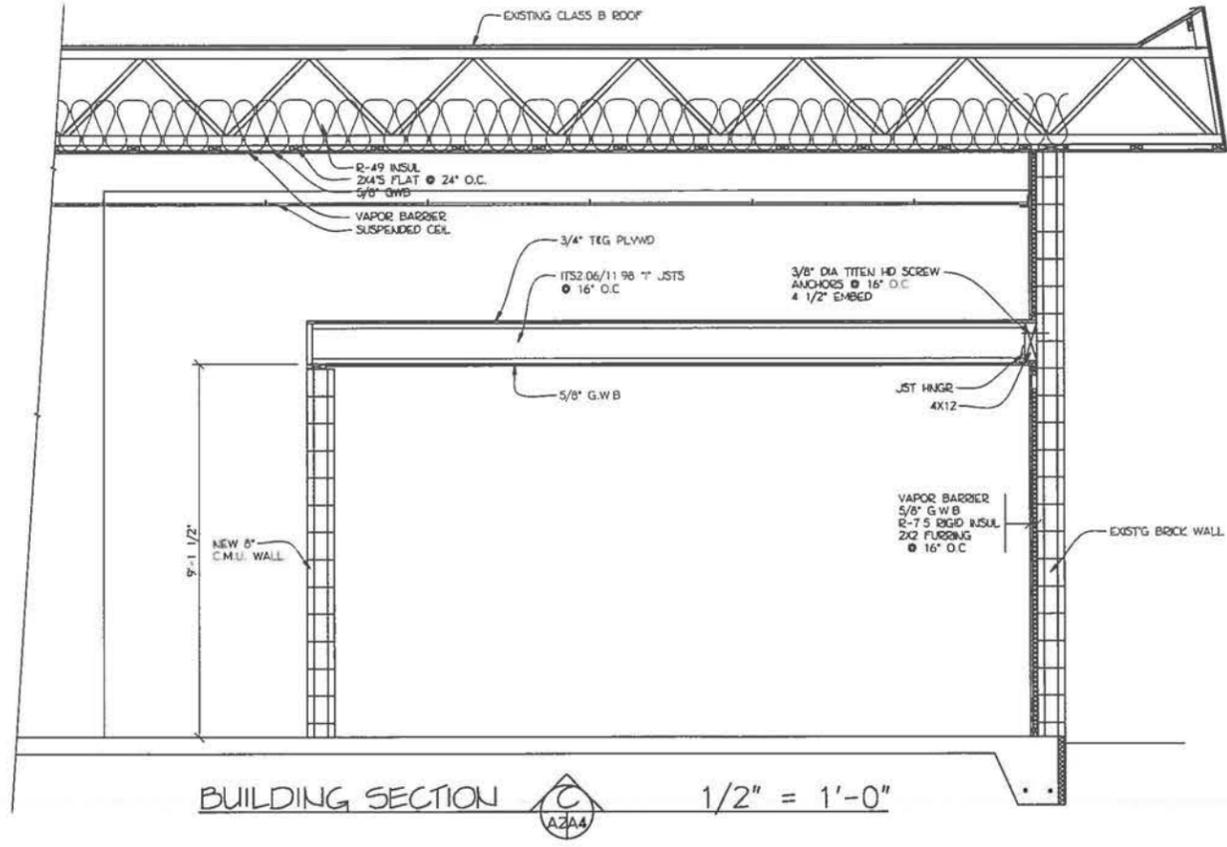


BUILDING SECTION  1/2" = 1'-0"

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BUILDING SECTION  1/2" = 1'-0"



BUILDING SECTION  1/2" = 1'-0"



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 oak harbor, wa 98277

BUILDING SECTIONS

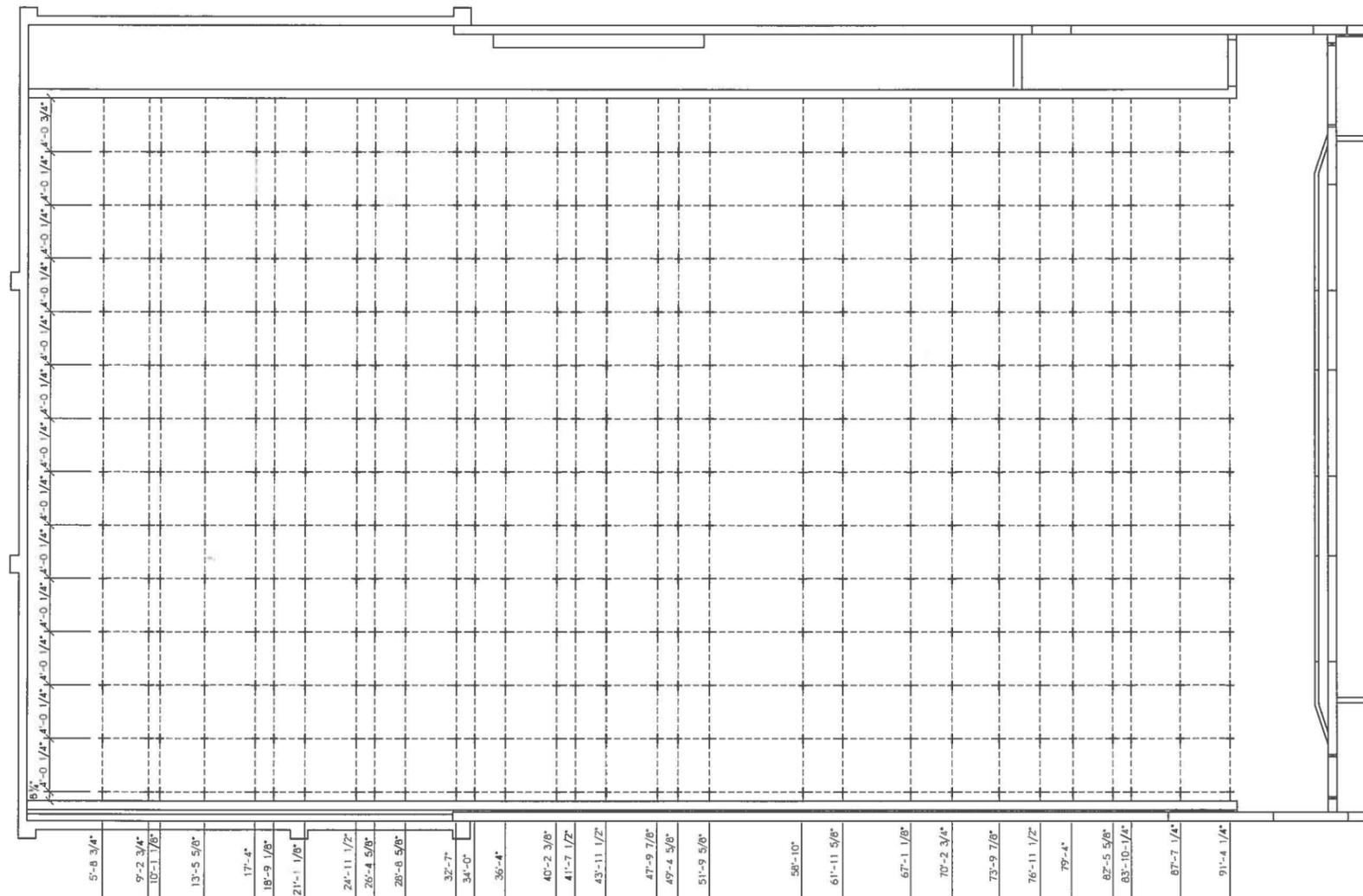
TENANT IMPROVEMENTS for
 RCW INVESTMENTS LLC / PACIFIC INDOOR TACTICAL
 951 N.E. 21st Court
 Oak Harbor, Wa 98277

10/3/16
 REVISIONS

A4
 N SHEETS

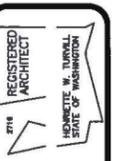


REFLECTED CEILING PLAN 1/8" = 1'-0"



BAFFLE HANGING POINTS 3/16" = 1'-0"

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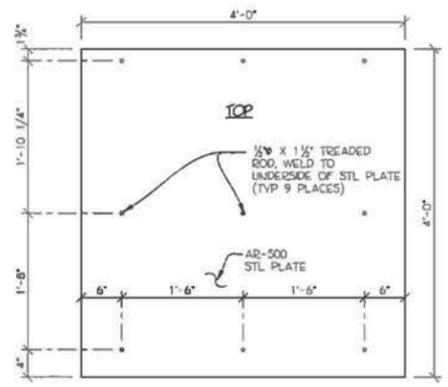


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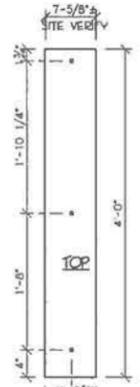
TENANT IMPROVEMENTS for
 RGW INVESTMENTS LLC / PACIFIC INDOOR TACTICAL
 951 N.E. 21st Court
 Oak Harbor, Wa 98277

10/3/16
 REVISIONS:

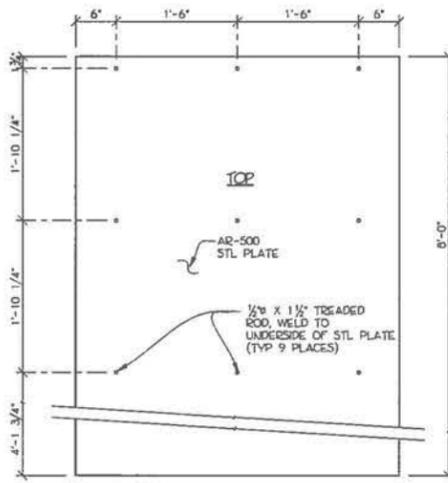




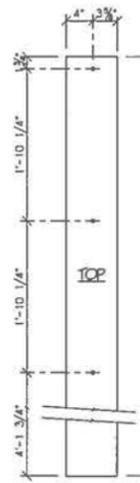
BAFFLE PLAN 1" = 1'-0"
ROWS 8 THRU 11 ROW 1 SIM NO STUDS



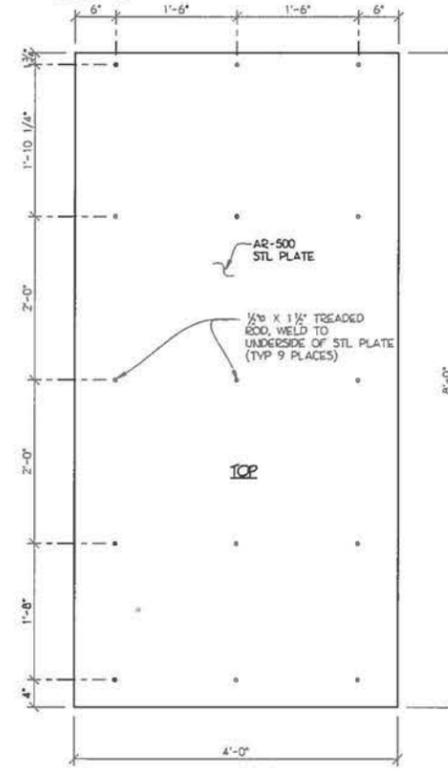
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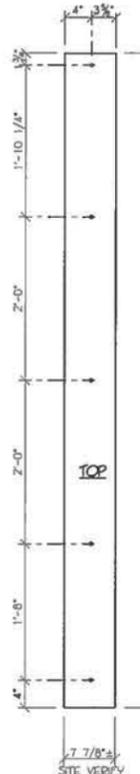
BAFFLE PLAN 1" = 1'-0"
ROW 2



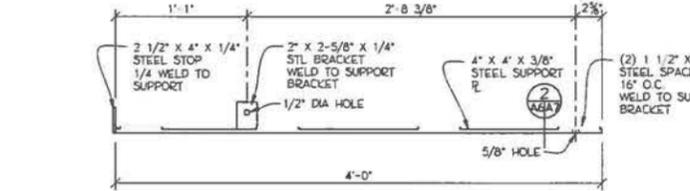
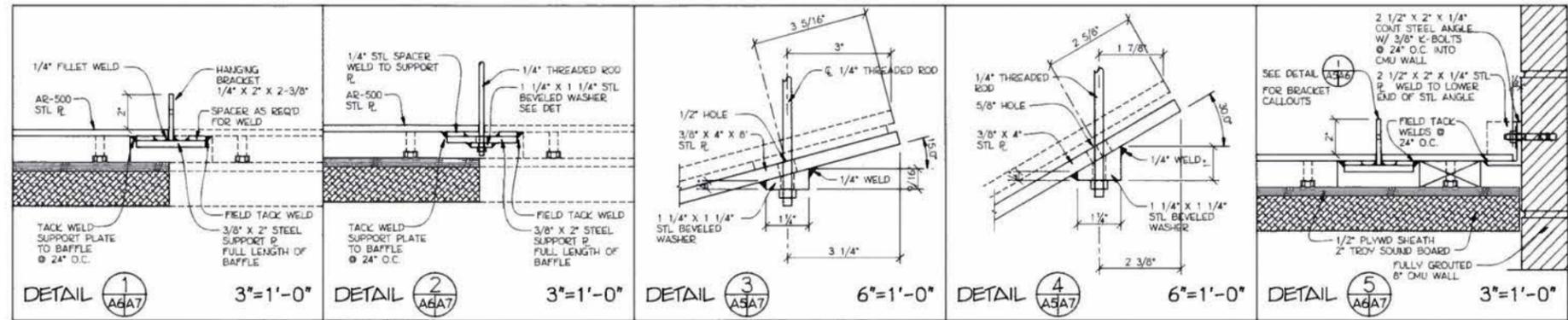
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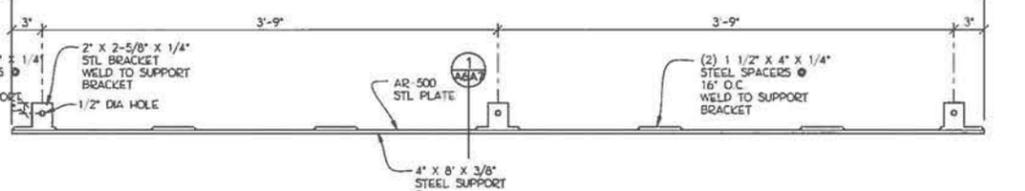
BAFFLE PLAN 1" = 1'-0"
ROWS 3 THRU 6 & 12



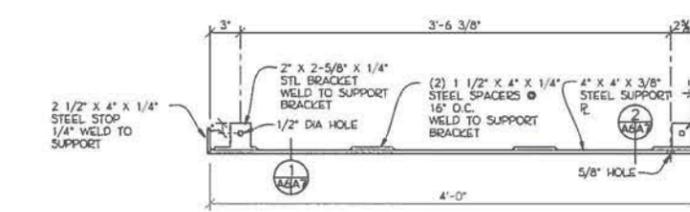
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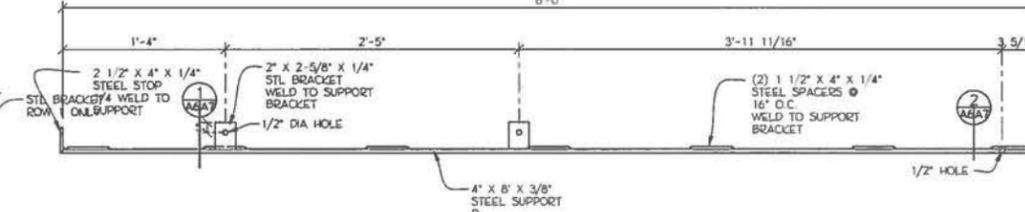
BAFFLE SUPPORT ROW 7 1 1/2" = 1'-0"



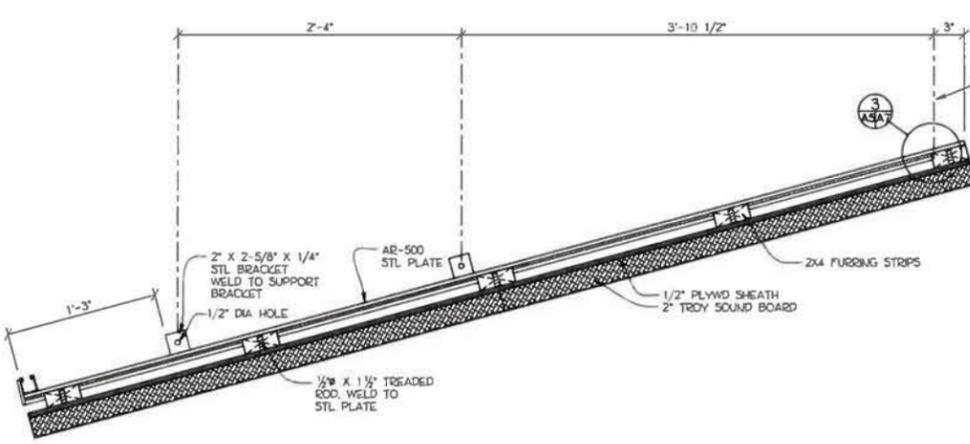
BAFFLE SUPPORT ROW 12 1 1/2" = 1'-0"



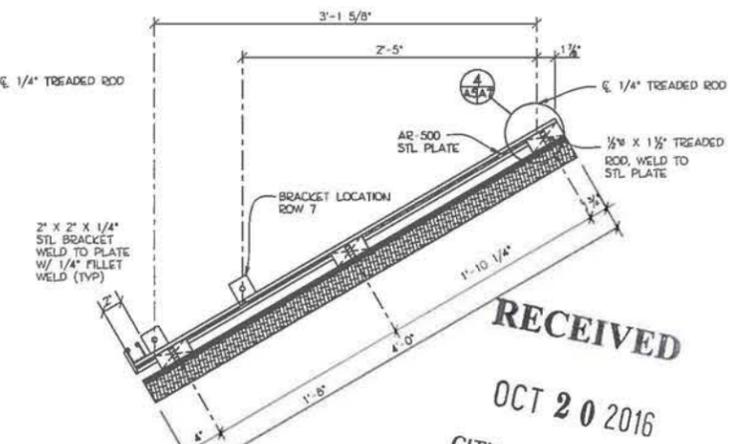
BAFFLE SUPPORT ROWS 1, 8-11 1 1/2" = 1'-0"



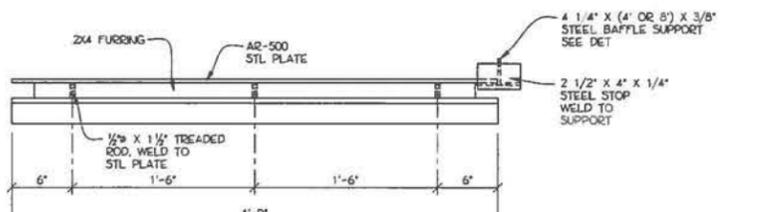
BAFFLE SUPPORT ROWS 2-6 1 1/2" = 1'-0"



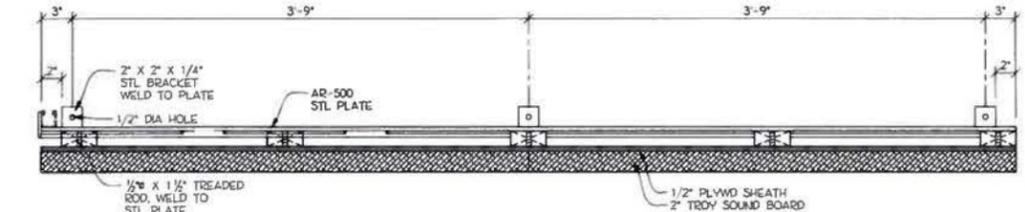
SECTION 8' TYPICAL BAFFLE @ 15° 1 1/2" = 1'-0"



SECTION BAFFLE @ 30° 1 1/2" = 1'-0"



TYP BAFFLE FRONT ELEV 1 1/2" = 1'-0"



8' SAFETY CEILING @ 0° SECTION 1 1/2" = 1'-0"

REGISTERED ARCHITECT
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e-mail: penny@turvill.com

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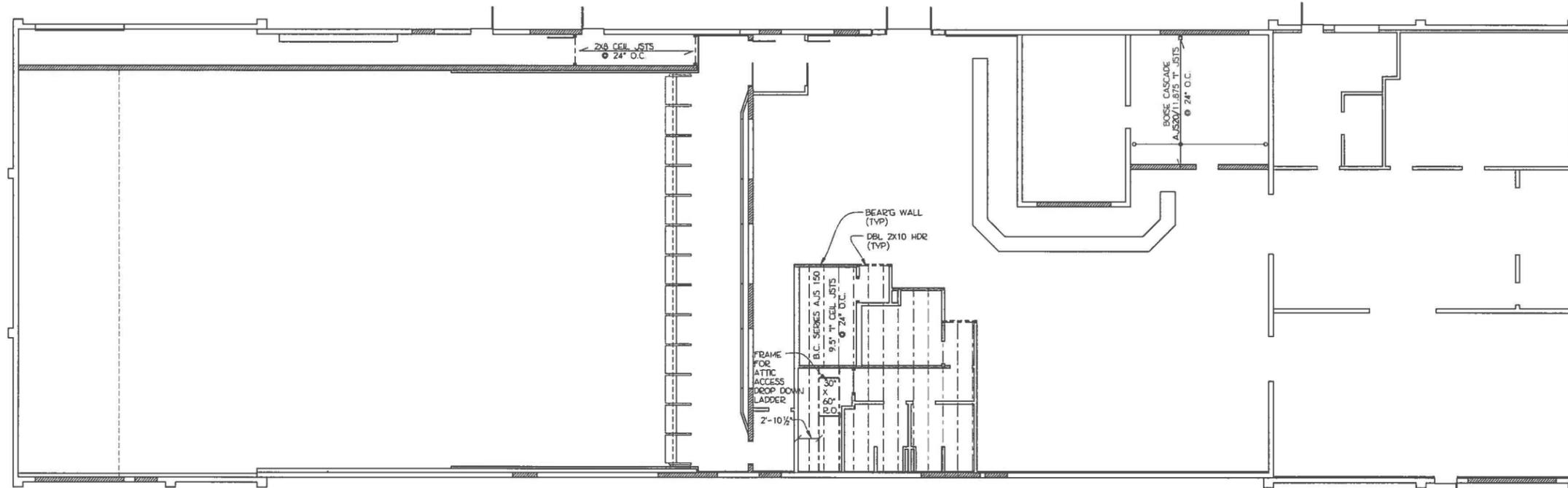
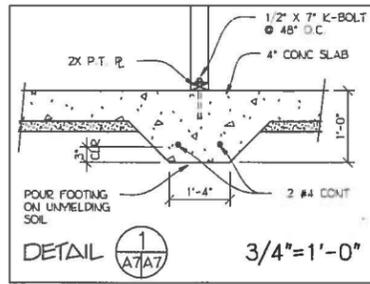
BAFFLE PLANS
BAFFLE SECTIONS
DETAILS

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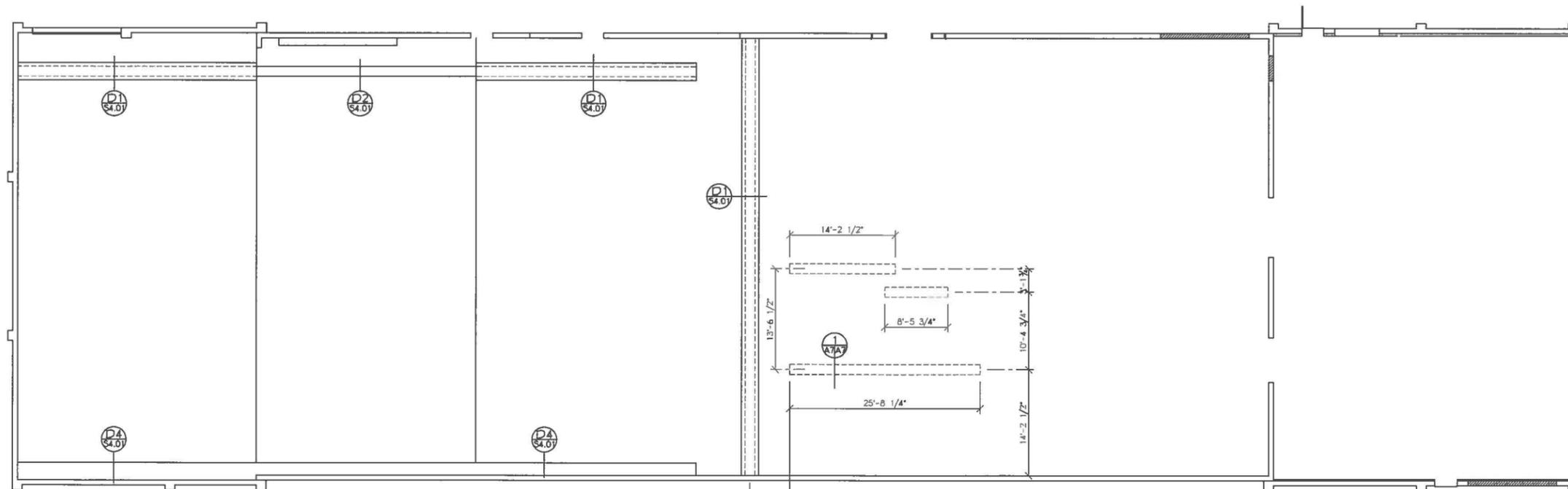
TENANT IMPROVEMENTS for
RCW INVESTMENTS LLC / PACIFIC INDOOR TACTICAL
2780 N.E. Goldie St, #C
Oak Harbor, Wa 98277

10/3/16
REVISIONS

A7
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CEILING FRAMING PLAN 1/8" = 1'-0"



FOUNDATION PLAN 1/8" = 1'-0"

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 STATE OF WASHINGTON

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FOUNDATION PLAN
 FOOTING DETAIL
 CEILING FRAMING

TENANT IMPROVEMENTS for
 RCW INVESTMENTS LLC / PACIFIC INDOOR TACTICAL
 2780 N.E. Goldie St, #C
 Oak Harbor, Wa 98277

10/3/16
 REVISIONS

S1
 N SHEETS

- SHEET NOTES**
1.
 2.
 3.
 4.

- LEGEND**
- 6" THICK CONCRETE WALL
 - 6" THICK CMU WALL
 - INFILL EXISTING OPENING
 - EXISTING 6" THICK CMU WALL
 - EXISTING 6" THICK BRICK WALL
 - EXISTING SLAB STEP

TENANT
 IMPROVEMENTS FOR
 RGW INVESTMENTS LLC
 PACIFIC INDOOR
 TACTICAL
 951 NE 21ST COURT
 OAK HARBOR, WA 98277

NO.	DATE	DESCRIPTION

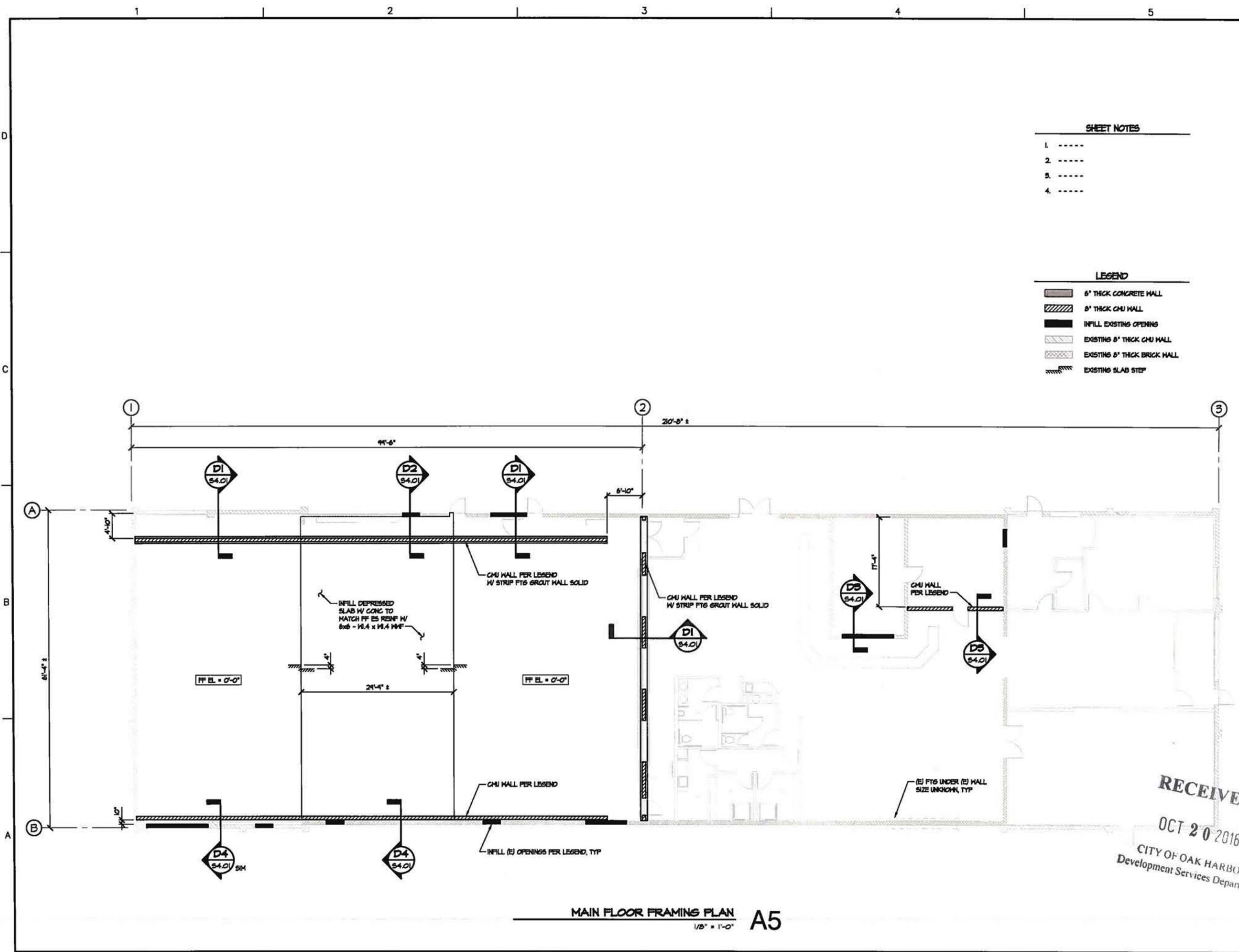
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PROJECT NUMBER	XXX
REVISION	XXX
DATE	XXX
ISSUED	XXX
DATE	09/02/16
PROJECT NUMBER	282918473



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SHEET TITLE
**MAIN FLOOR
 FRAMING PLAN**

SHEET NUMBER
S1.01



MAIN FLOOR FRAMING PLAN A5
 1/8" = 1'-0"

TENANT
 IMPROVEMENTS FOR
 RGW INVESTMENTS LLC
 PACIFIC INDOOR
 TACTICAL
 951 NE 21ST COURT
 OAK HARBOR, WA 98277

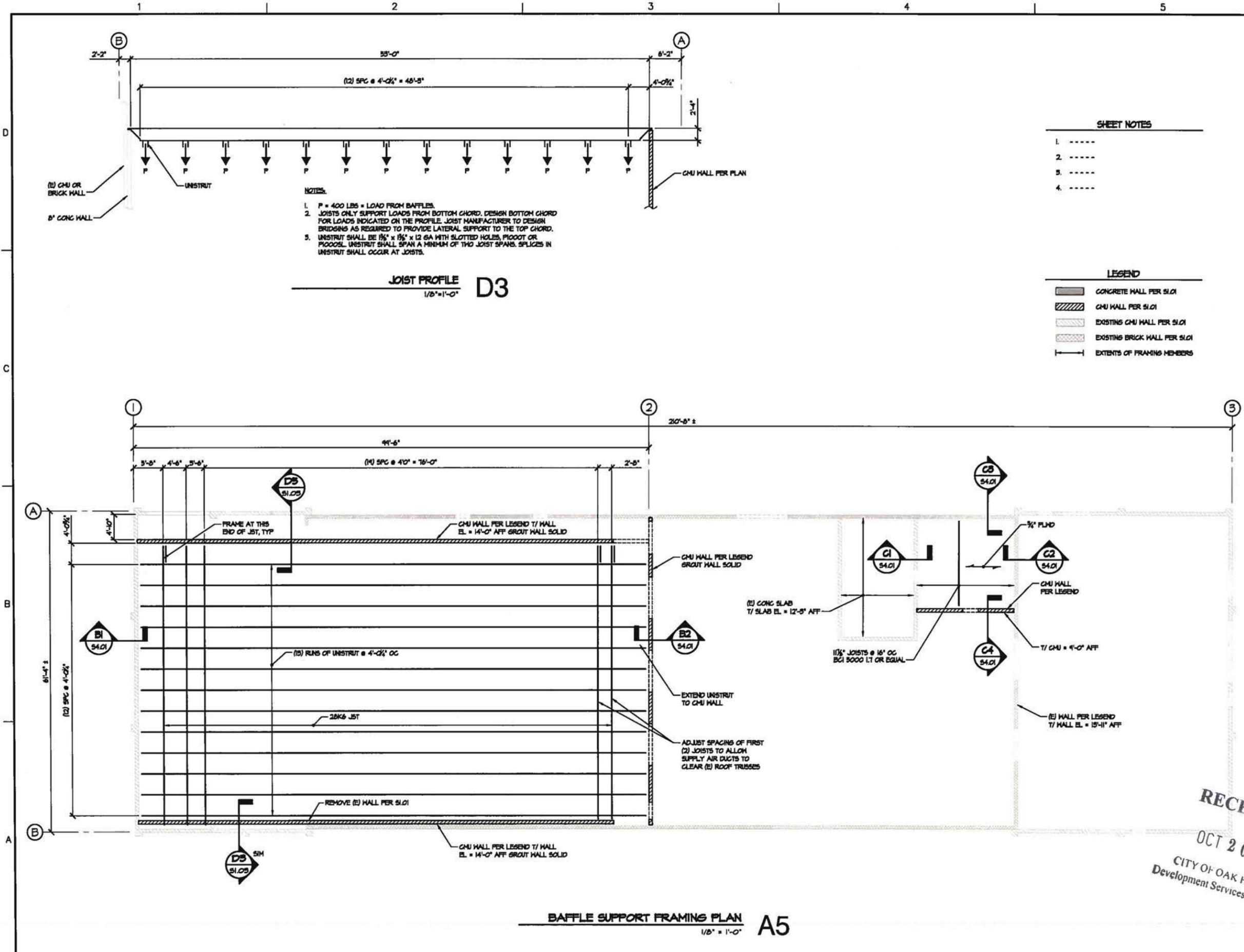
- SHEET NOTES**
1.
 2.
 3.
 4.

- LEGEND**
- CONCRETE WALL PER S1.01
 - CMU WALL PER S1.01
 - EXISTING CMU WALL PER S1.01
 - EXISTING BRICK WALL PER S1.01
 - EXTENTS OF FRAMING MEMBERS

JOIST PROFILE D3
 1/8" = 1'-0"

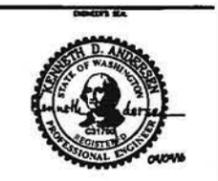
NOTES:

1. P = 400 LBS = LOAD FROM BAFFLES.
2. JOISTS ONLY SUPPORT LOADS FROM BOTTOM CHORD. DESIGN BOTTOM CHORD FOR LOADS INDICATED ON THE PROFILE. JOIST MANUFACTURER TO DESIGN BRIDGINS AS REQUIRED TO PROVIDE LATERAL SUPPORT TO THE TOP CHORD.
3. UNISTRUT SHALL BE 1 1/2" x 1 1/2" x 12 GA WITH SLOTTED HOLES, PIGOOT OR PIGOOTL. UNISTRUT SHALL SPAN A MINIMUM OF TWO JOIST SPANS. SPLICES IN UNISTRUT SHALL OCCUR AT JOISTS.



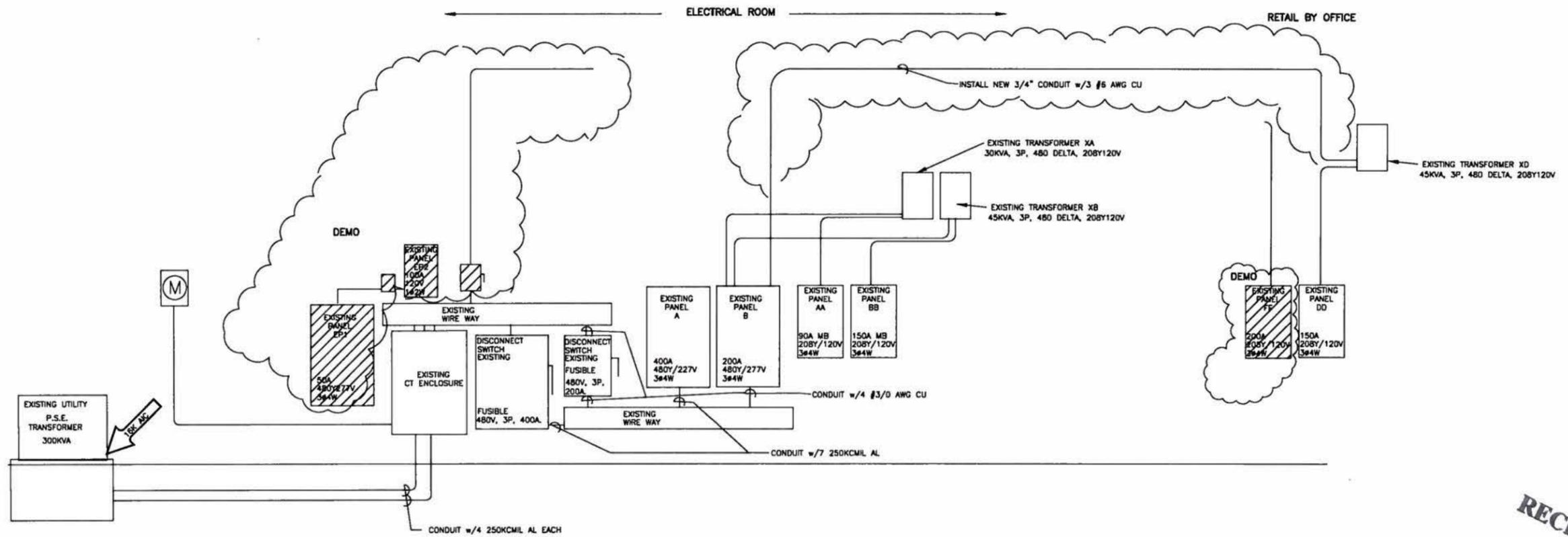
BAFFLE SUPPORT FRAMING PLAN A5
 1/8" = 1'-0"

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PROJECT NUMBER: 262016.072
 SHEET NUMBER: S1.02

S1.02



GENERAL NOTES: (APPLICABLE TO ALL DRAWINGS)

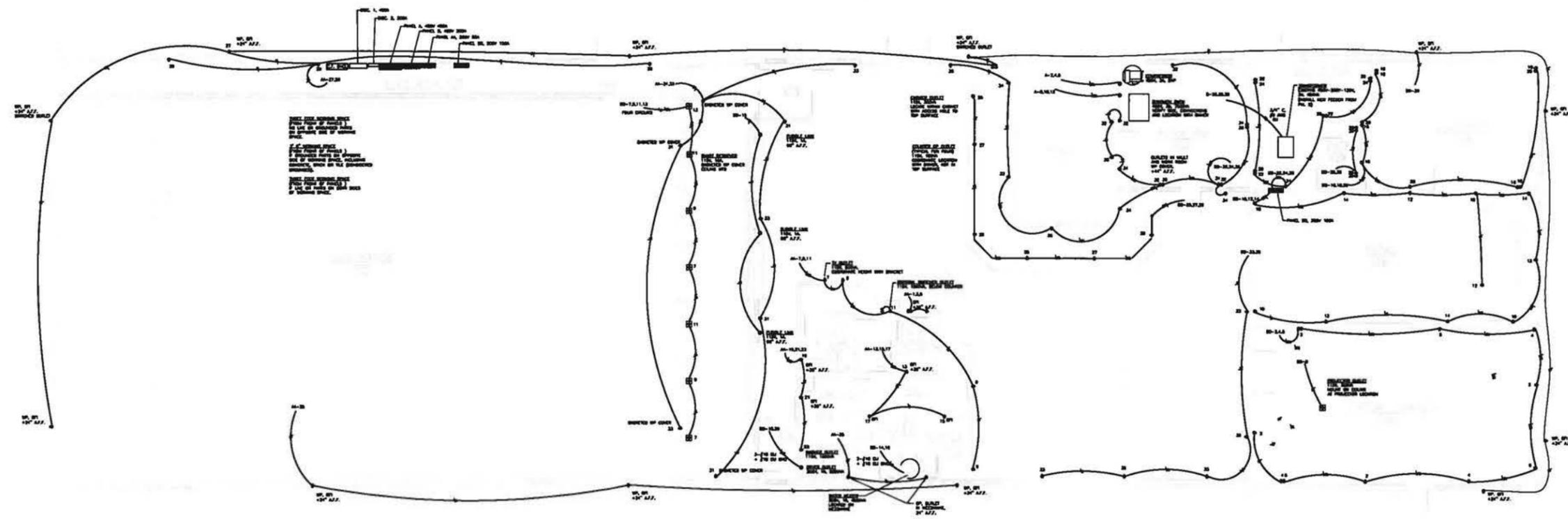
1. ENTIRE INSTALLATION SHALL BE WITHIN CONDUIT OF THE FOLLOWING TYPES: EMT WITHIN BUILDING ABOVE GRADE, SCHEDULE 40 PVC BELOW GRADE, RGS OR SCHEDULE 40 PVC OUTDOORS (I.E.: ROOF, VERIFY COMPATIBILITY WITH ROOF CONSTRUCTION), LIQUID TIGHT NON METALLIC FLEXIBLE CONDUIT TO OUTDOOR VIBRATING EQUIPMENT (WITH EQUIPMENT GROUND CONDUCTOR).
2. FEEDER, BRANCH, PHASE AND GROUND CONDUCTORS SHALL BE 1/C COPPER, #12 AWG UNLESS NOTED OTHERWISE WITH 600V TYPE XHHW OR THHN/THWN INSULATION.
3. INSTALLATION SHALL COMPLY WITH NATIONAL ELECTRICAL CODE AND WAC 296-46B.
4. LOCATIONS OF ELECTRICAL DEVICES INDICATED MAY BE ADJUSTED PER ARCHITECTURAL PLANS AND ELEVATIONS OR WITH OWNERS APPROVAL TO INCORPORATE EXISTING LOCATIONS THAT MAY BE RE-UTILIZED.
5. VOLTAGE DROP: PROVIDE NUMBER 10 AWG MINIMUM CONDUCTOR SIZE FOR HOME RUN OF 120V BRANCH CIRCUITS LONGER THAN 100' FROM THE PANEL TO THE FIRST OUTLET OF DEVICE SERVED.
6. WHEN HOME RUN CONDUCTORS ARE ADJUSTED IN SIZE TO COMPENSATE FOR VOLTAGE DROP, EQUIPMENT GROUNDING CONDUCTORS SHALL BE ADJUSTED PROPORTIONATELY TO CIRCULAR MIL AREA.
7. VERIFY EQUIPMENT SIZES AND RATINGS AND CONDITION AS CONSTRUCTION IS COMPLETED.

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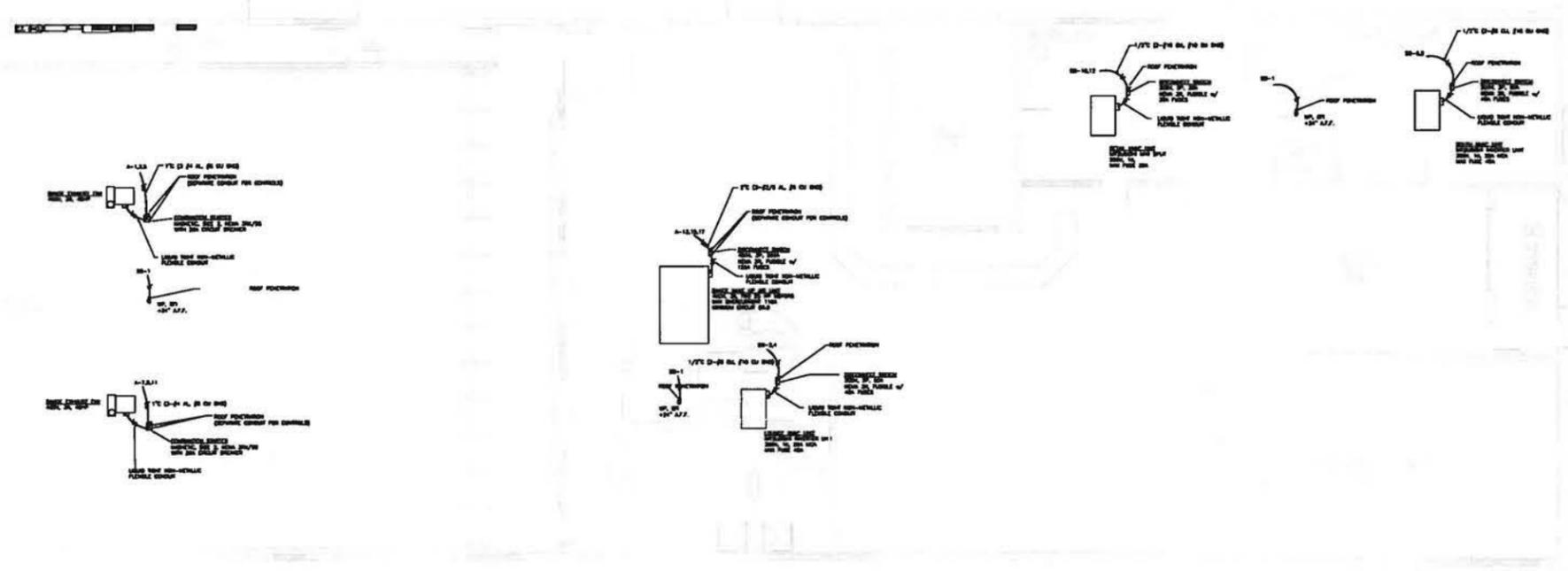
BRAAKSMA Custom Electrical Engineering Gary Braaksma, P.E. 711 Racine Street Bellingham, WA 98225 www.braaksma-engineering.com	REV: _____ DATE: _____ DESCRIPTION: _____ BY: CHD ENGR: APPR: _____ SCALE: N.T.S. DESIGNED: G.I.B. DRAWN: G.I.B. DATE: SEP 20, 2016
	PACIFIC INDOOR TACTICAL OAK HARBOR, WASHINGTON
	ELECTRICAL RISER DIAGRAM

DWG: **E1**



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 Development Services Department

 BRAAKSMA Custom Electrical Engineering Gary Braaksma, P.E. 711 Racine Street Bellingham, WA 98229 Ph: 360-734-7416 www.braaksma-engineering.com	REV.	DATE	DESCRIPTION	BY	CHKD	ENGR	APPR.	
	SCALE: 1/8" = 1'-0"		DESIGNED: G.I.B.	DRAWN: G.I.B.	DATE: SEP 20, 2016			
PACIFIC INDOOR TACTICAL							OAK HARBOR, WASHINGTON	
ELECTRICAL FLOOR PLAN							DWG	E2

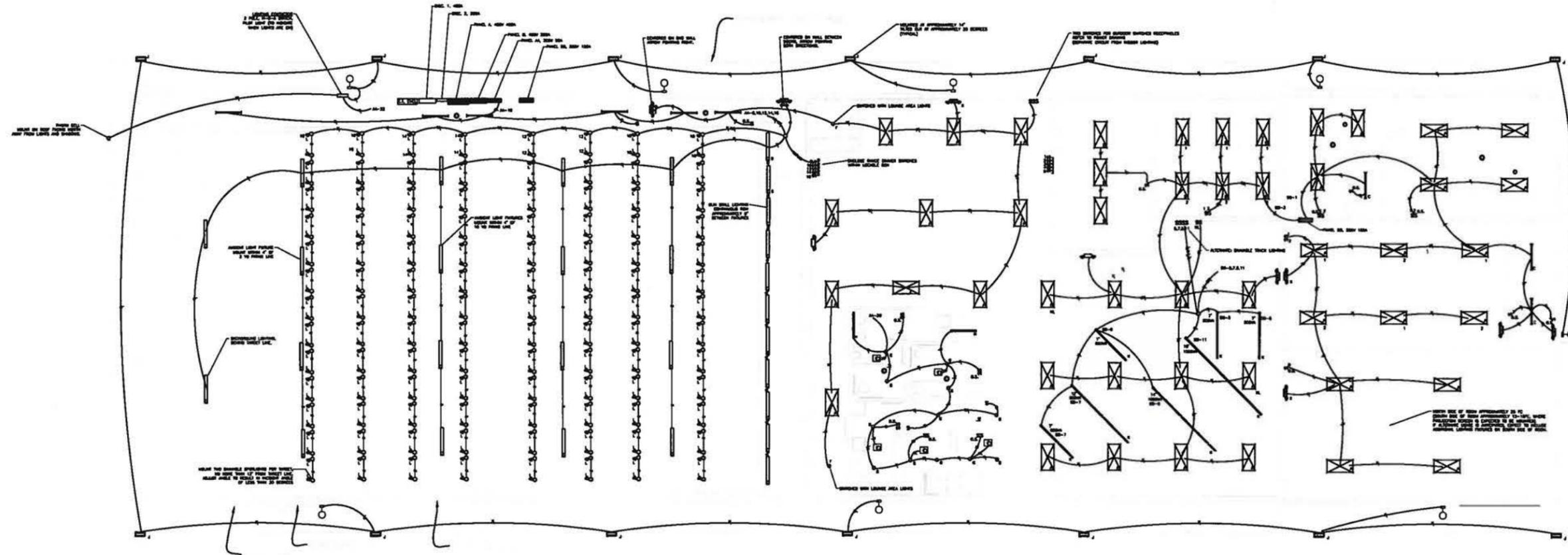
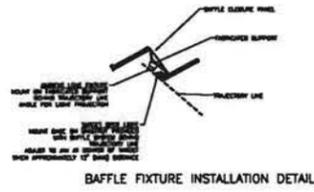


- NOTES**
1. ALL EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CITY OF OAK HARBOR ORDINANCES.
 2. ALL EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 3. ALL EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF OAK HARBOR ORDINANCES.
 4. ALL EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF OAK HARBOR ORDINANCES.
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 BRAAKSMA <small>ENGINEERING</small> Custom Electrical Engineering Gary Braakisma, P.E. 711 Racine Street Bellingham, WA 98229 www.braakisma-engineering.com	REV.	DATE	DESCRIPTION	BY	CHKD	ENGR	APPR	
	SCALE 1/8" = 1'-0"		DESIGNED G.I.B.	DRAWN G.I.B.	DATE SEP 20, 2016			
PACIFIC INDOOR TACTICAL								
OAK HARBOR, WASHINGTON								
ELECTRICAL ROOF PLAN								DIWL E3



- 1. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE NATIONAL ELECTRICAL CODE (NEC).
- 2. ALL LIGHTING FIXTURES SHALL BE INSTALLED AT A HEIGHT OF 8'-0" UNLESS OTHERWISE NOTED.
- 3. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE NATIONAL ELECTRICAL CODE (NEC).
- 4. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE NATIONAL ELECTRICAL CODE (NEC).
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- 10. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE NATIONAL ELECTRICAL CODE (NEC).



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<p>BRAAKSMA Custom Electrical Engineering Gary Braaksma, P.E. 711 Racine Street Bellingham, WA 98220 www.braaksma-engineering.com</p>	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHK'D</th> <th>ENGR</th> <th>APPR.</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td>DESIGNED G.I.B.</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td>DRAWN G.I.B.</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>SEP 20, 2016</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV.	DATE	DESCRIPTION	BY	CHK'D	ENGR	APPR.	1		DESIGNED G.I.B.					2		DRAWN G.I.B.					3	SEP 20, 2016					
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2		DRAWN G.I.B.																											
3	SEP 20, 2016																												
<p>PACIFIC INDOOR TACTICAL OAK HARBOR, WASHINGTON</p> <p>ELECTRICAL LIGHTING PLAN</p>	<p>DWG. E4</p>																												

IF THIS LINE DOES NOT MEASURE ONE INCH DRAWING IS NOT TO SCALE



MECHANICAL DRAWING INDEX

- M-0 MECHANICAL COVER SHEET
- M-1 SHOOTING RANGE AIR WALL/HVAC FLOOR PLAN
- M-2 SHOOTING RANGE ROOF HVAC PLAN

GENERAL MECHANICAL NOTES:

1. ALL EQUIPMENT AND MATERIALS SHALL CONFORM WITH THE STANDARDS AND PROVISIONS SPECIFIED IN THE PROJECT SPECIFICATIONS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING LOCAL AMENDMENTS. APPLICABLE CODES INCLUDE:
 - 2015 WASHINGTON STATE MECHANICAL CODE (WSMC)
 - 2015 WASHINGTON STATE ENERGY CODE (WSEC)
 - 2015 WASHINGTON STATE BUILDING CODE (WSBC)

ENERGY CODE NOTES:

1. MECHANICAL SYSTEMS SHALL COMPLY WITH ALL REQUIREMENTS OF CHAPTER C403 AND C403.3 OF THE 2015 WASHINGTON STATE ENERGY CODE, INCLUDING THE FOLLOWING:
 - A. EQUIPMENT SHALL MEET THE PERFORMANCE REQUIREMENTS OF SECTION C403.2.3.
 - B. DUCTWORK SHALL BE SEALED PER SECTION C403.2.8 AND BEST PRACTICES.
 - C. DUCTWORK AND HVAC PIPING SHALL BE INSULATED PER SECTIONS C403.2.8, C403.2.9, AND TABLE C403.2.9.
2. HVAC SYSTEMS SHALL BE COMMISSIONED AS REQUIRED AND STIPULATED IN SECTIONS C403.2.10 AND C408.2. COMMISSIONING REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO:
 - A. COMMISSIONING PLAN
 - B. SYSTEMS BALANCING
 - C. FUNCTIONAL TESTING
 - D. O&M MANUALS
 - E. RECORD DRAWINGS

P.I.T. SHOOTING RANGE

951 NE 21ST COURT
OAK HARBOR, WA 98277

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Number _____ Date _____ Designation _____

MECHANICAL COVER SHEET

Contact: THOMAS PRESSLER, P.E.
Job: 018026.00
Date: 10-04-2016
Scale: 1/8"=1'-0"
Checked: TEP
Drawn: BBN
Sheet: _____

MECHANICAL SYMBOLS AND LEGEND			
PLUMBING		HVAC	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
— CD —	CONDENSATE DRAIN (ABOVE GRADE)	☒	DIFFUSER
— RL —	REFRIGERANT LIQUID	→ □	EXHAUST/RETURN REGISTER, EXHAUST FAN
— RS —	REFRIGERANT SUCTION	⊙	THERMOSTAT
— G —	GAS COCK	⊙	SENSOR
— V —	GATE VALVE	→	FIRE/SMOKE DAMPER
⊙	ELBOW TURNED UP	←	FIRE DAMPER
⊙	ELBOW TURNED DOWN	└	VOLUME DAMPER
⊙	ROOF DRAIN/FUNNEL DRAIN	⊙	MOTORIZED DAMPER
○	RISER/VENT THRU ROOF (VTR)	12/20	DUCT SIZE, FIRST FIGURE IS SIDE SHOWN
		20/12	DUCT SECTION, POSITIVE PRESSURE, FIRST FIGURE IS TOP
		20/12	DUCT SECTION, NEGATIVE PRESSURE, FIRST FIGURE IS TOP
			ACOUSTICAL LINING (INSULATION)
			FLEXIBLE CONNECTION
		20/10 15/8	TRANSITION
			TURNING VANES
MISCELLANEOUS			
□	ACCESS PANEL		

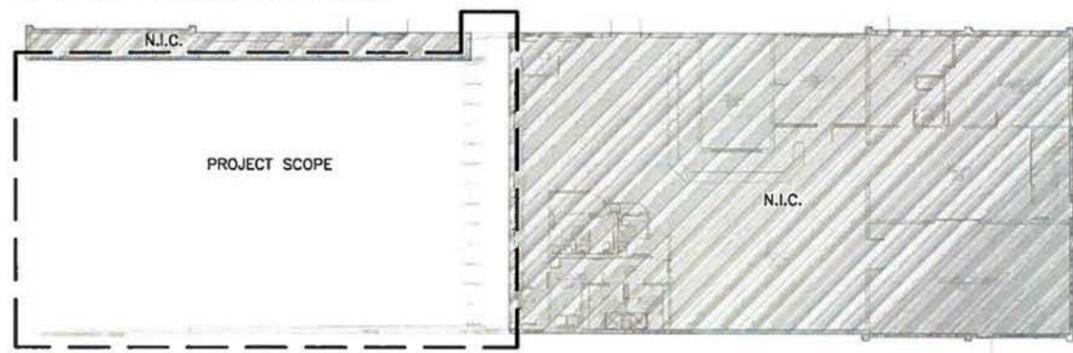
NOTE: SOME SYMBOLS IN THIS LEGEND MAY NOT APPEAR ON THE ACTUAL DRAWINGS.

ABBREVIATIONS

%	PERCENT	LBS	POUNDS
AFF	ABOVE FINISHED FLOOR	LRA	LOCK ROTOR AMPS
AMP	AMPERE (AMP, AMPS)	MBTUH	THOUSAND BTUH
AP	ACCESS PANEL	MCA	MINIMUM CIRCUIT AMP
BHP	BRAKE HORSEPOWER	MD	MOTORIZED DAMPER
BTU	BRITISH THERMAL UNIT	MIN	MINIMUM
CD	CONDENSATE DRAIN	MOC	MAXIMUM OVERCURRENT PROTECTION
CFM	CUBIC FEET PER MINUTE	NIC	NOT IN CONTRACT
CO	CARBON MONOXIDE	NTS	NOT TO SCALE
DB	DECIBEL	OA	OUTSIDE AIR
DB	DRY BULB	PH	PHASE (ELECTRICAL)
DBT	DRY-BULB TEMPERATURE	POC	POINT OF CONNECTION
DEG OR °	DEGREE	PSI	POUNDS PER SQUARE INCH
DIA OR Ø	DIAMETER	PSIG	PSI GAGE
DIFF	DIFFERENCE OR DELTA	RLA	RATED LOAD AMPS
DN	DOWN	RPM	REVOLUTIONS PER MINUTE
EA	EACH	SA	SUPPLY AIR
EER	ENERGY EFFICIENCY RATIO	TYP	TYPICAL
EF	EXHAUST FAN	U/L	UNDERWRITERS' LABORATORIES
ER	EXHAUST REGISTER	V	VENT, VOLT (ELECTRICAL)
ESP	EXTERNAL STATIC PRESSURE	VAV	VARIABLE AIR VOLUME
F	FAHRENHEIT	VD	VOLUME DAMPER
FLA	FULL LOAD AMPS	W	WATT
HP	HORSEPOWER		
HZ	FREQUENCY, HERTZ		
KW	KILOWATT		

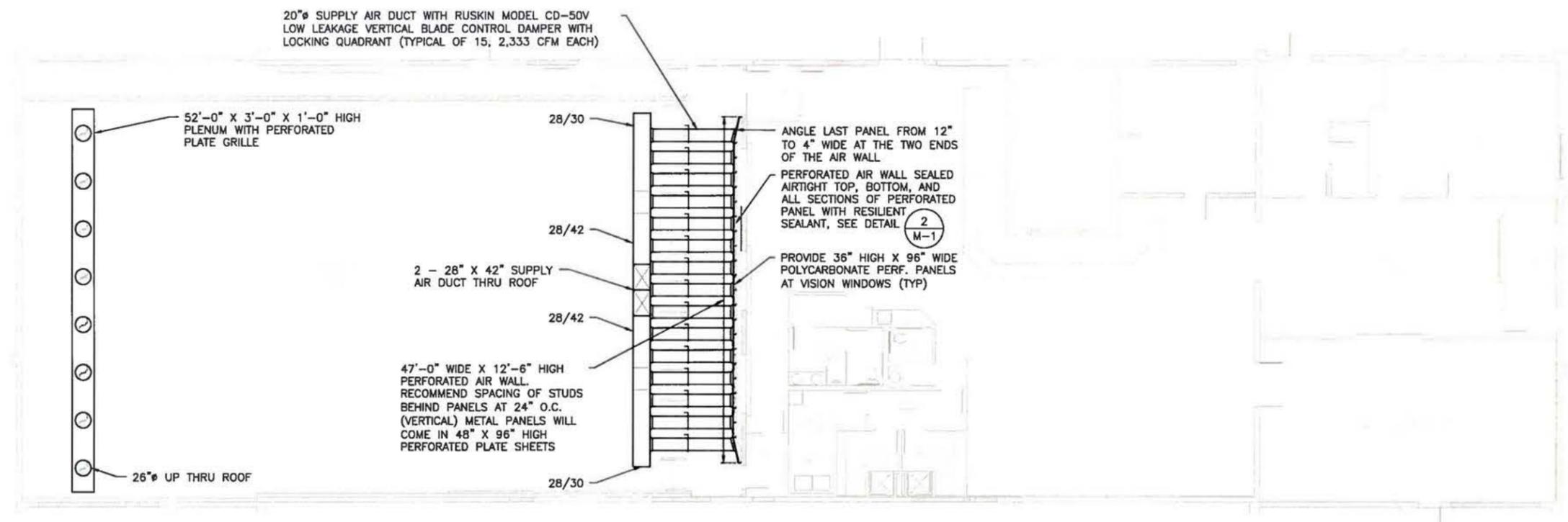
PROJECT SCOPE CLARIFICATION

THESE MECHANICAL DRAWINGS ADDRESS THE DESIGN OF THE MAKEUP AIR AND EXHAUST FOR THE SHOOTING RANGE PORTION OF THE BUILDING ONLY. ALL OTHER AREAS AND MECHANICAL SYSTEMS ARE BY OTHERS.

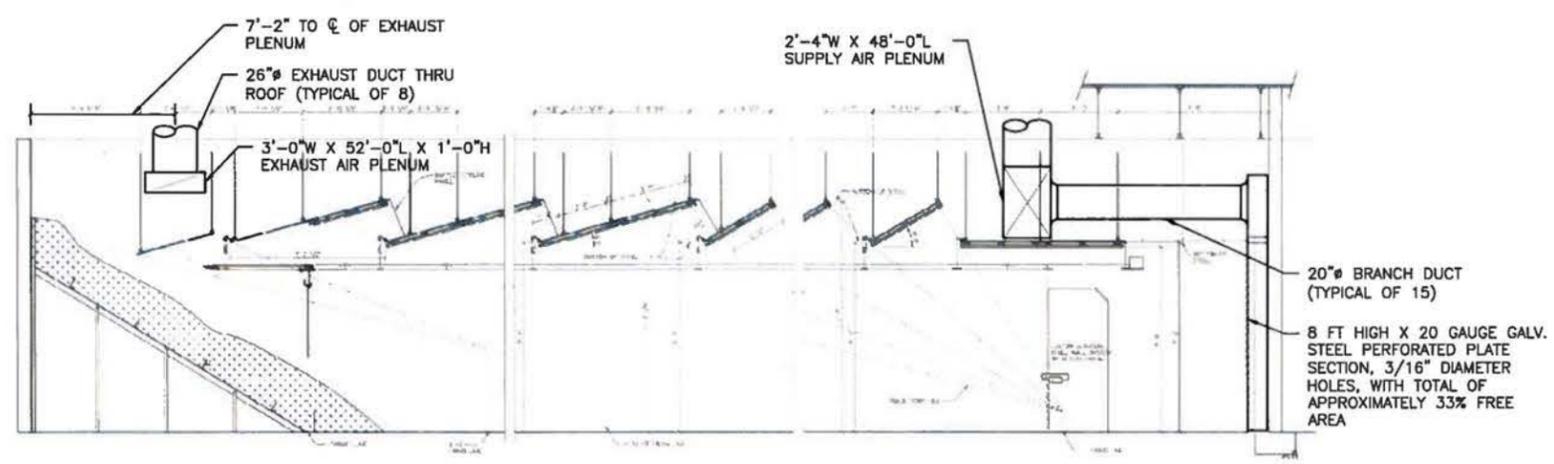


IF THIS LINE DOES NOT MEASURE ONE INCH DRAWING IS NOT TO SCALE

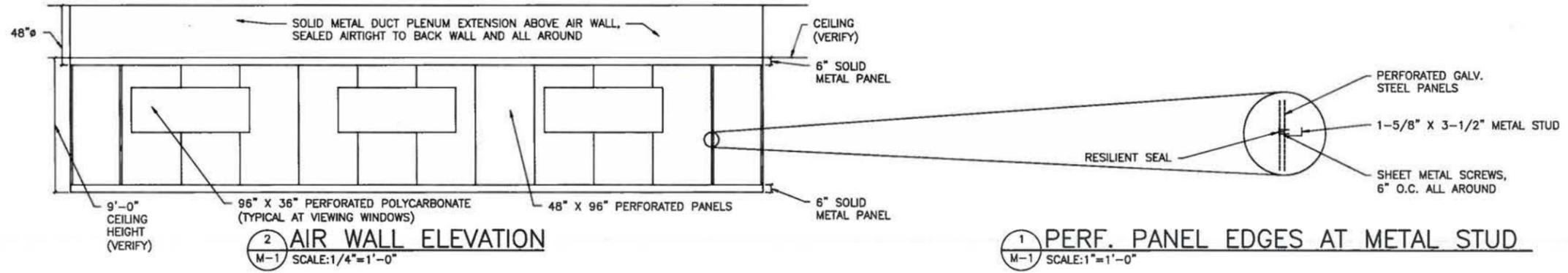
PRESSLER
Engineering, Inc.
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1 SHOOTING RANGE HVAC FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SHOOTING RANGE SECTION
SCALE: 1/4" = 1'-0"



3 AIR WALL ELEVATION
SCALE: 1/4" = 1'-0"

4 PERF. PANEL EDGES AT METAL STUD
SCALE: 1" = 1'-0"

P.I.T. SHOOTING RANGE

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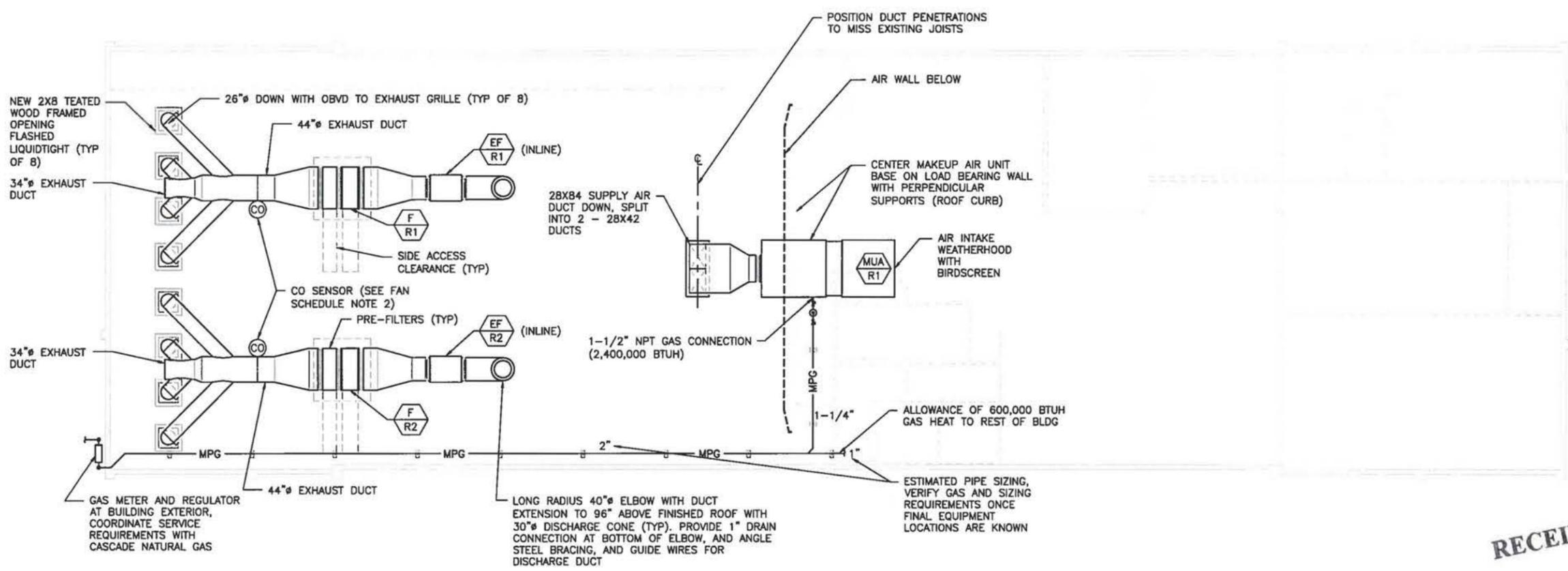
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Number	Date	Description

SHOOTING RANGE
AIRWALL/HVAC PLAN

Contact: THOMAS PRESSLER, P.E.
Job: 016028.00
Date: 10-04-2016
Scale: 1/8" = 1'-0"
Checked: TEP
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M-1



SHOOTING RANGE HVAC ROOF PLAN
SCALE: 1/8" = 1'-0"

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FAN SCHEDULE												
TAG	LOCATION	CFM	EXTERNAL STATIC PRESSURE	ELECTRICAL				SONES	DIMENSIONS (LXWXH)	WEIGHT (LBS)	RUPP AIR MODEL NUMBER	NOTES
				VOLTS/PH	MOTOR BHP	MOTOR HP	MOTOR FLA					
EF-R1	ROOFTOP	19,000	4.5	460/3	19.33	40	46.3	40	54-17/32" X 44-7/8" X 44-7/8"	696	DMF 1300RA	1, 2.
EF-R2	ROOFTOP	19,000	4.5	460/3	19.33	40	46.3	40	54-17/32" X 44-7/8" X 44-7/8"	696	DMF 1300RA	1, 2.

NOTES:
1. CLASS II, BACKWARD INCLINED, SINGLE WIDTH FAN, 1-1/2" STATIC DEFLECTION SPRING ISOLATION WITH SEISMIC SNUBBERS AND 4X4 TREATED WOOD SLEEPERS SPANNING 3 T.J.'S.
2. PROVIDE CO AND BUILDING PRESSURE CONTROLS. CO SENSOR CONTROLS VARIES EXHAUST AIR QUANTITY BETWEEN FULL FLOW (19,000 CFM) AND 12,370CFM FOR EACH EXHAUST FAN BASED ON SHOOTING ACTIVITY DURING OCCUPIED HOURS. AT NIGHT AND DURING UNOCCUPIED HOURS, TIME CLOCK SHALL RESET THE VFD'S TO MAINTAIN SPACE AT 0.05" W.C. (NEGATIVE PRESSURE). DURING THE DAY, BUILDING (RANGE) PRESSURE CONTROL SHALL MODULATE MUA-R1 FAN TO TRACK WITH EXHAUST FANS TO AGAIN MAINTAIN BUILDING PRESSURE AT 0.05" W.C. NEGATIVE COMPARED TO AMBIENT AIR PRESSURE.

FILTER SCHEDULE								
TAG	TOTAL FLOW RATE	CAMFIL/FARR PRE-FILTER MODEL	FINAL P.D. (IN, W.G.)	FINAL (HEPA) FILTER MODEL ABSOLUTE	FINAL P.D. (IN, W.G.)	SERVICE	DESCRIPTION	NOTES
F-R1	19,000 CFM	HI-FLO SR	1.5	VG-SR	2.25	EXHAUST AIR	3.5 X 24" X 24" FILTERS TALL X 3 X 24" X 24" FILTERS WIDE, 19,000 CFM	1, 2.
F-R2	19,000 CFM	HI-FLO SR	1.5	VG-SR	2.25	EXHAUST AIR	3.5 X 24" X 24" FILTERS TALL X 3 X 24" X 24" FILTERS WIDE, 19,000 CFM	1, 2.

NOTES:
1. PROVIDE 14 GA. GALVANIZED STEEL HOUSING FOR ALL FILTERS INCLUDED WITH GASKETED SIDE ACCESS DOOR.
2. PROVIDE WITH MERV-8 PRE-FILTERS AND MULTITRACK GLIDE PACK MAGNAPACK.

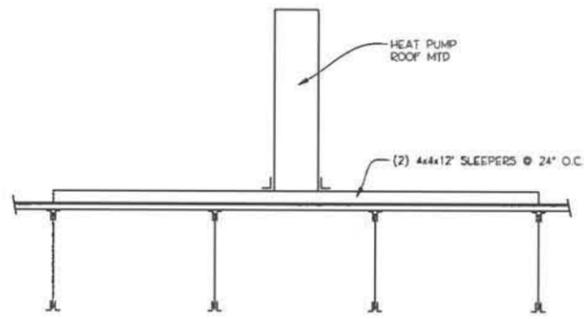
MAKEUP AIR UNIT																			
TAG	LOCATION	CFM	MIN. AIRFLOW CFM	EXTERNAL STATIC PRESSURE	HEATING			ELECTRICAL						SONES	DIMENSIONS (LXWXH)	WEIGHT (LBS)	RUPP AIR MODEL NUMBER	NOTES	
					INPUT BTUH	OUTPUT BTUH	TEMP. RISE	VOLTS/PH	MOTOR BHP	MOTOR QTY	MOTOR HP	FLA	MOCP						MOTOR RPM
MUA-R1	ROOFTOP	35,000	24000	2.0	2,400,000	2,208,000	58°F	460/3	35.9	1	40	46.3	50	1770	70	231-1/4" X 98" X 90-1/2"	4490	RAM 33	1.

NOTES:
1. PROVIDE MERV-8 FILTERS, 25 - 20" X 25" X 2" THICK, VARIABLE AIR VOLUME (VFD) BUILDING PRESSURE CONTROL, HINGED ACCESS, HEAT INLET SENSOR, DIRTY FILTER SWITCH, INLET DAMPER END SWITCH, SERVICE RECEPTACLE.

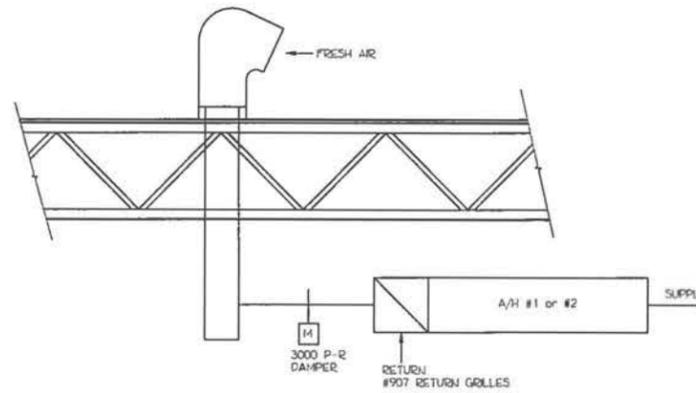
SHOOTING RANGE
ROOFTOP HVAC PLAN

Contact: THOMAS PRESSLER, P.E.
Job: 016026.00
Date: 10-04-2016
Scale: 1/8" = 1'-0"
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Drawn: BBN
Sheet

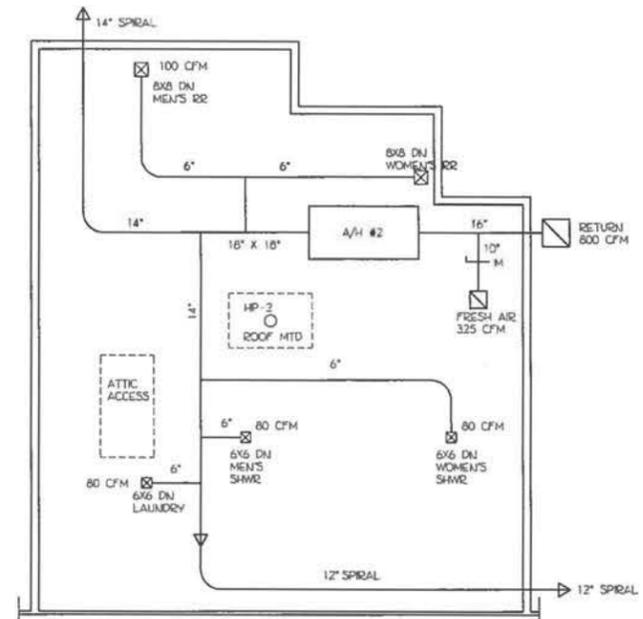
M-2



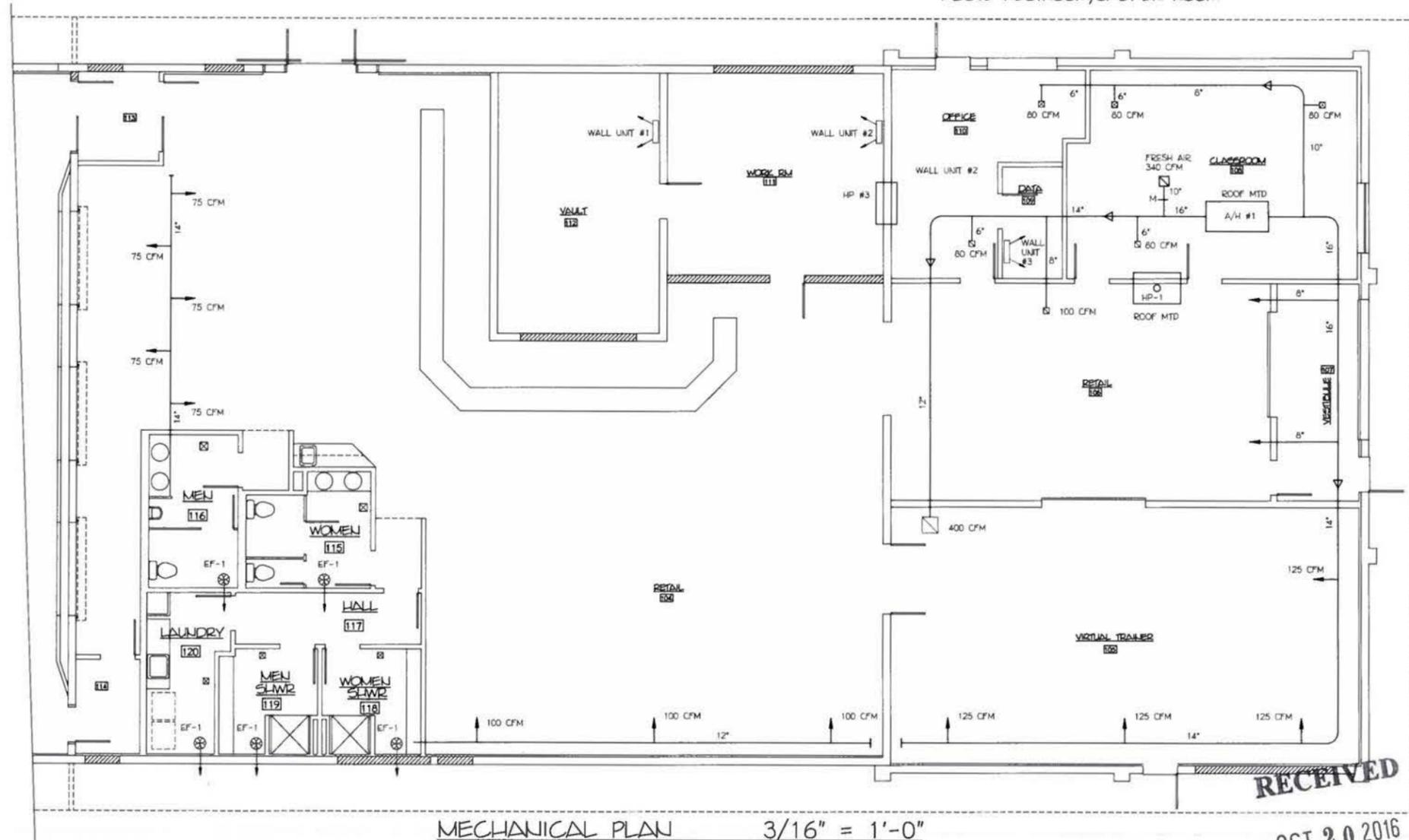
DETAIL 1/2" = 1'-0"
ROOF MTD HEAT PUMP



SECTION 1/2" = 1'-0"
FRESH AIR/RETURN AIR GRILLES



MECHANICAL ROOM 1/4" = 1'-0"
ABOVE RESTROOM/SHOWER ROOM



MECHANICAL PLAN 3/16" = 1'-0"
BLDG "B" RETAIL

LEGEND OF SYMBOLS

- CHILASE FAN EF-1
- RETURN
- SUPPLY
- WALL UNIT
- HEAT PUMP / AIR HANDLER

MECHANICAL EQUIPMENT SCHEDULE

- HP - #1, #2 • MITSUBISHI #PUC-HASABARA
- A/H - #1, #2 • MITSUBISHI #PVA-A3AAA
- HP - #3 • DAIKIN #394524 3P
- WALL UNITS - #1, #2 • DAIKIN #FT012
- WALL UNIT - #3 • DAIKIN ACT007
- EXHAUST FAN (EF-1) • PANASONIC FV-09V5-80 CFM



henriette w. (penny) turvill architect
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 e-mail: penny@turvill.com
 2905 alpine drive
 oak harbor, wa 98277

MECHANICAL PLAN BLDG "B"
 TENANT IMPROVEMENTS FOR
 RGW INVESTMENTS LLC / PACIFIC INDOOR TACTICAL
 2780 N.E. Goldie St, #C
 Oak Harbor, Wa 98277

10/3/16
 REVISIONS

M3
 N SHEETS

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 Development Services Department

November 17, 2016

Mr. Ron Wallin
P&L General Contractors, Inc.

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NOV 18 2016

CITY OF OAK HARBOR
Development Services Department

Re: Acoustical Study
Pacific Indoor Tactical Shooting Range

Dear Ron:

This report presents the results of acoustical measurements and findings of predicted sound levels produced by firearm discharges at the Pacific Indoor Tactical shooting range (the range) proposed at 951NE 21st Court, Oak Harbor, WA 98277 (the site).

It is understood that the main acoustical objectives for this project are:

1. determining aircraft noise intrusion through the roof assembly into the retail side of the range; and
2. predicting exterior sound levels produced by firearms on the range.

Sound measurements were conducted at the proposed site location on November 9, 2016 to establish a baseline for existing sound levels at the proposed site.

Given the double 8"-thick CMU exterior walls for the shooting range, the focus of the current study is on sound transmission through the roof structure.

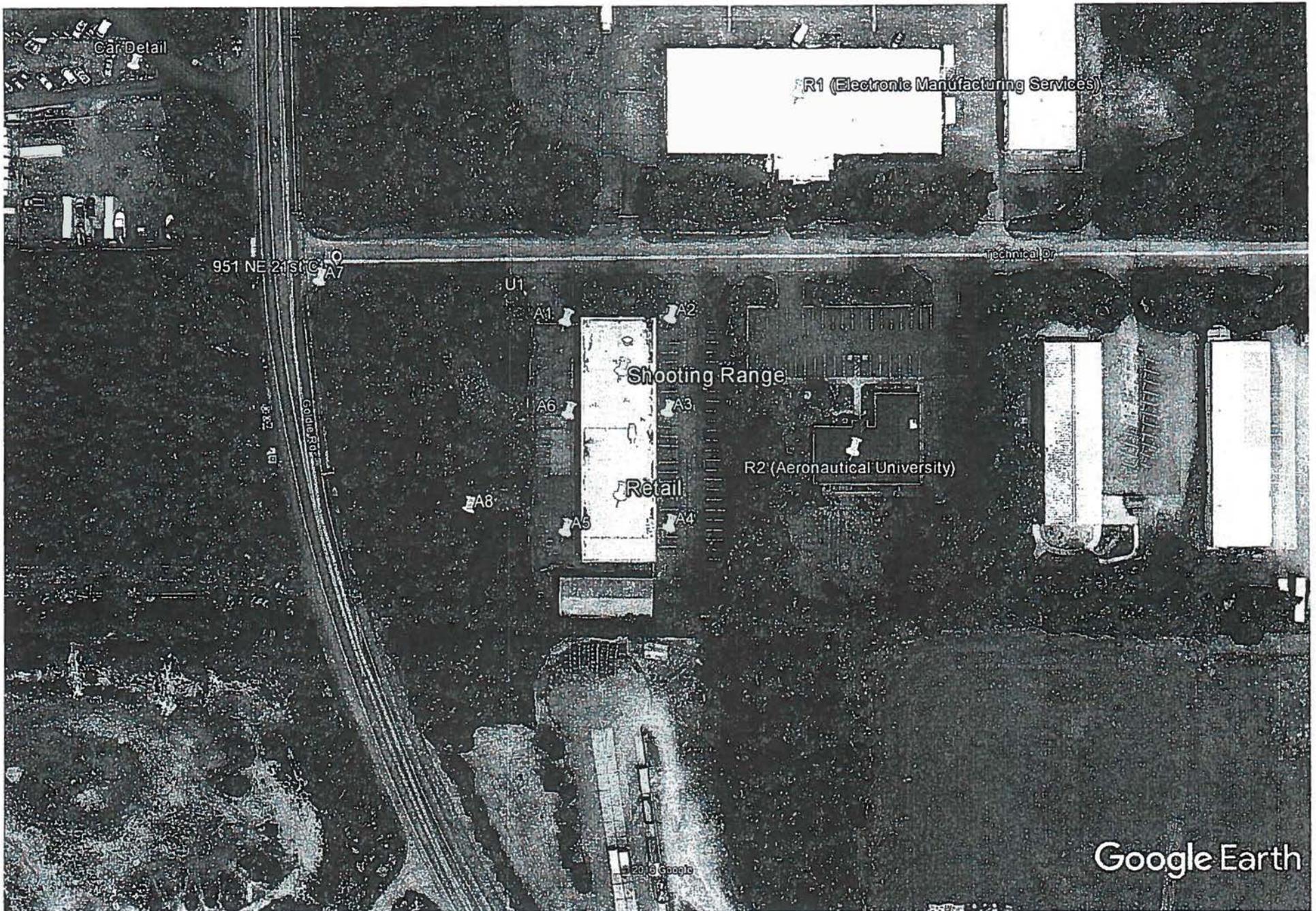
1. PROJECT SITE AND NEARBY LAND USES

An aerial photograph of the project site and vicinity is shown in Figure 1-1. The nearest receivers, located to the northeast and east of the site boundary, are also shown in Figure 1-1. The site is flanked by a sub-arterial road to the west, and storage/green fields to the south.

The site location and nearest receivers are zoned PIP (Planned Industrial Park), and are within Noise Subdistrict C (>75 Ldn) for airport noise according to the Oak Harbor City, as shown in Figure 1-2.

Other surrounding areas are also PIP Zone, except Planned Business Park (PBP) Zone to the southwest and Public Facilities Zone to the southeast of the site. The site is not located near any residential zones.

Figure 1-1: Site Locality

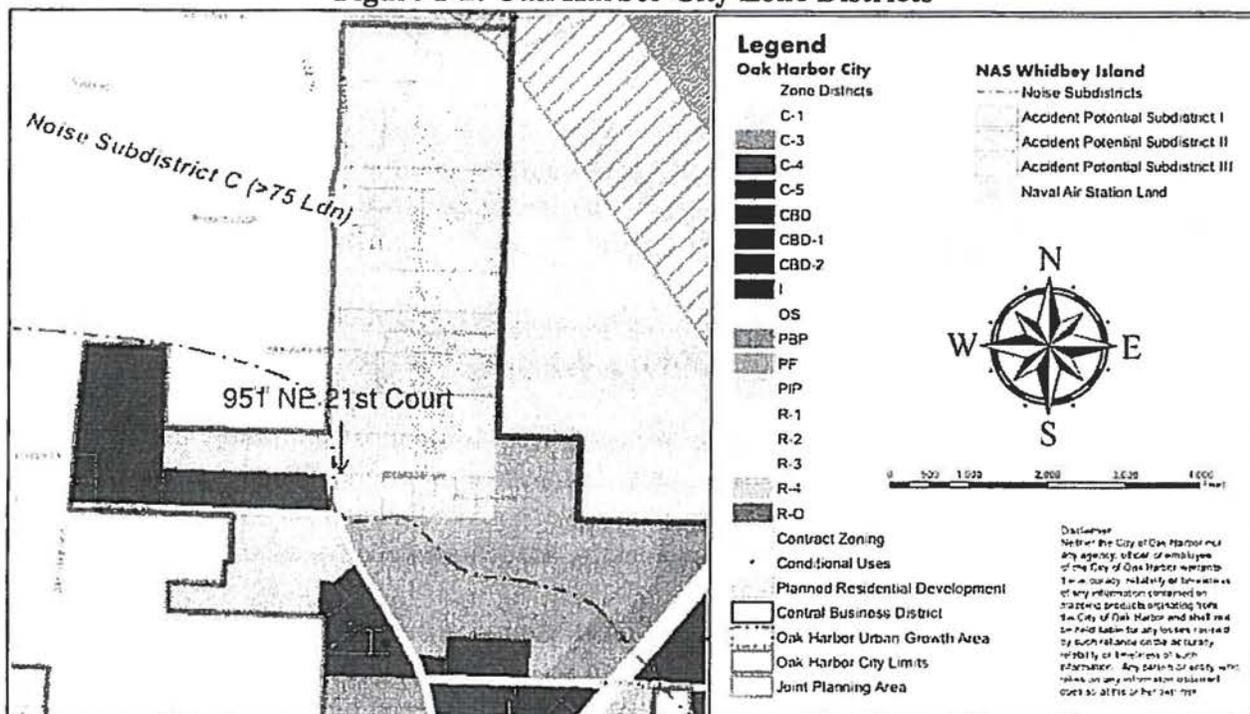


Google Earth

feet
meters

200 700

Figure 1-2: Oak Harbor City Zone Districts



2. SOUND LEVEL DESCRIPTORS

Sound is measured as sound level in units of decibels, dB. Environmental sound is often measured as A-weighted sound level in dBA. The A-weighting is a specific weighting filter in a sound level meter that corresponds to human hearing sensitivity at the various sound frequencies. Table 2-1 lists typical sound levels associated with common noise sources, or environments.

Jet takeoff (200 feet)	120 dBA	<i>Intolerable</i>
Construction Site	110 dBA	
Shout (5 feet)	100 dBA	
Heavy truck at freeway speed (50 feet)	90 dBA	<i>Very noisy</i>
Urban street	80 dBA	<i>Noisy</i>
Automobile interior	70 dBA	
Normal conversation (3 feet)	60 dBA	
Office, classroom	50 dBA	<i>Moderate</i>
Living room	40 dBA	<i>Quiet</i>
Bedroom at night	30 dBA	
Broadcast studio	20 dBA	
Rustling leaves	10 dBA	<i>Barely audible</i>
Threshold of hearing	0 dBA	

Each 10-dB increase in sound level corresponds to a tenfold increase of sound energy, but is judged by a listener as only a doubling of loudness. The smallest changes in sound level considered clearly noticeable are about 3 to 5 dBA.

Sound levels from two or more sources are combined using logarithms, not by adding the levels. When two levels are combined, the louder level predominates, and the combined level is the louder level plus 0 to 3 dBA. Some examples: 50 dBA combined with 50 dBA is 53 dBA, and 50 dBA combined with 40 dBA results in 50.4 dBA.

Because sound levels fluctuate over time, several A-weighted sound level descriptors are used to characterize the sound. In this report, the following descriptors are used:

Leq	Equivalent sound level, Leq , is the most commonly used descriptor for measuring fluctuating sound. The Leq is the level of a constant sound that, over a given time period, contains the same amount of sound energy as the measured fluctuating sound.
Lmax	Maximum sound level, Lmax , is the highest instantaneous sound level for a given sound source, event, or time period. Lmax is relevant in assessing impacts from brief high-level sound such as the discharge of firearms. For sounds with a rapid onset, such as firearm discharges, the Lmax is measured on the <i>Fast</i> setting of a sound level meter.
Lmin	Minimum sound level, Lmin , is the lowest sound level during the measurement period. The Lmin is an effective descriptor for quantifying the relatively steady level of sound that is present in the absence of local noise events.
SEL	Sound exposure level, SEL is a descriptor useful for characterizing the contribution of a single, short-duration event to the overall equivalent sound level. The SEL is the level of a one-second long sound that contains the same amount of sound energy as the measured short-duration event.

3. ISLAND COUNTY NOISE LIMITS

The Pacific Indoor Tactical shooting range is located in Oak Harbor City, Island County.

This section of this report presents noise limits established for: 1) aircraft noise within the retail space of the range; 2) exterior noise limits for firearm sound levels generated at the range and affecting neighboring properties.

The site is located within Noise Subdistrict C (>75 Ldn) for airport noise according to the Oak Harbor City. This corresponds to Airport Noise Zone 3 in the Island County Code, which contains the compliance requirements for buildings located in this zone of airport noise.

Retail – Aircraft Noise

- Section 14.01B.040 of the Island County Code stipulates airport noise zones.
- Section 14.01B.090/B of the Island County Code stipulates a minimum STC-44 rating for the combined roof and ceiling construction.

Shooting Range – Exterior Sound

As the Island County noise limits pertain to aircraft noise per above, the Washington Administrative Code (WAC) is referenced for determining sound limits for exterior sound levels affecting neighboring properties.

Note that sounds created by the discharge of firearms on authorized shooting ranges are exempt from State of Washington noise limits during the daytime hours of 7 a.m. to 10 p.m. (WAC 173-60-050 (1) (b)). The following noise limits are provided as a guideline.

Noise limits are based on the Environmental Designation for Noise Abatement (EDNA) of source and receiving properties. The EDNA is determined based on land use or zoning, with residential zones being Class A EDNA, commercial zones Class B EDNA, and industrial zones being Class C EDNA. The Planned Industrial Park zone pertaining to the shooting range and neighboring properties is considered Class C EDNA.

The limits for noise produced at Class C EDNA properties are contained in Table 3-1.

TABLE 3-1 STATE OF WASHINGTON DAYTIME PERMITTED SOUND LEVELS FOR EDNA CLASS C NOISE SOURCES	
EDNA of Receiver Property	Noise Limit
Class C	70 dBA

In any one-hour period, the basic noise limits may be exceeded by 5 dBA for a total of 15 minutes or by 10 dBA for a total of 5 minutes or by 15 dBA for a total of 1.5 minutes. The 15-dBA short-term permitted exceedance corresponds to a noise limit on the hourly L_{max} (maximum sound level) of 85 dBA (permitted no more than 1.5 minutes) for EDNA C receivers.

4. SOUND LEVEL MEASUREMENTS

Existing sound level measurements were conducted at the site at measurement locations shown in Figure 1-1.

Location U1 represents the location of the continuous unattended noise monitor. Handheld measurements were also conducted at locations A1 to A8 also shown in Figure 1-1. The measurement results provide a baseline of existing sound levels at the site.

The unattended monitoring instrument was a Bruel & Kjaer Model 2238 sound level meter. For the attended noise measurements, a Bruel & Kjaer Model 2250 sound level meter was used. Both sound level meters were calibrated before and after the measurements with a Bruel & Kjaer Model 4231 Acoustic Calibrator; there were no significant calibration drifts. All equipment conforms to ANSI Standard S1.4 for Type 1 instruments.

Weather conditions during the measurements were overcast, with temperatures in the low to mid 50s degrees Fahrenheit. Wind was from the east at 2 to 10 mph. The weather conditions were within the range allowed by WAC 173-58, *Sound-Level Measurement Procedures*.

At Location U1, jet overflights, as well as road traffic noise from Goldie Road and NE 21st Court were observed to be the dominant sources. As presented in Table 4-1, the measured hourly sound levels at this location range from 64 dBA Leq to 72 dBA Leq, and from 74 dBA Lmax to 87 dBA Lmax during the proposed operational hours of 9:00 am to 7:00 pm.

During the short-term attended (handheld) measurements, the main noise sources affecting the site were observed to be jet overflights and road traffic noise along Goldie Road and NE 21st Court. There was some maintenance work occurring on the site during the site visit. Handheld measurements were conducted between such events. Handheld measurements were conducted for at least 15 minutes at each measurement location as presented in Table 4-2.

**TABLE 4-1
 MEASUREMENT RESULTS – CONTINUOUS UNATTENDED AT LOCATION U1**

Date/Time	Measured Sound Level	
	Leq, dBA	Lmax, dBA ¹
2016/11/09 10:10AM	66	78
2016/11/09 11:10AM	69	87
2016/11/09 12:10PM	69	83
2016/11/09 1:10PM	64	78
2016/11/09 2:10PM	69	80
2016/11/09 3:10PM	67	74
2016/11/09 4:10PM	72	87
2016/11/09 5:10PM	72	85
2016/11/09 6:10PM	69	81
2016/11/09 7:10PM	68	79
2016/11/09 8:10PM	71	87
2016/11/09 9:10PM	68	84

Date/Time	Measured Sound Level	
	Leq, dBA	Lmax, dBA ¹
2016/11/09 10:10PM	52	62
2016/11/09 11:10PM	52	61
2016/11/10 12:10AM	52	62
2016/11/10 1:10AM	50	58
2016/11/10 2:10AM	50	57
2016/11/10 3:10AM	50	57
2016/11/10 4:10AM	51	60
2016/11/10 5:10AM	54	62
2016/11/10 6:10AM	57	66
2016/11/10 7:10AM	66	73
2016/11/10 8:10AM	62	74
2016/11/10 9:25AM ²	64	78

1. The Lmax levels reported are based on the "slow" setting.
2. Based on an hourly average between 8:25 AM and 9:25 AM.
 Shaded cells indicate nighttime hours.

TABLE 4-2
MEASUREMENT RESULTS – SHORT-TERM ATTENDED (2016/11/09)

Measurement Location	Start – End Times	Measured Sound Level		Main Noise Source/s
		Leq, dBA	Lmax, dBA ¹	
A1	10:05AM – 10:21AM	73	75	Nearby road traffic on NE 21 st Ct, distant road traffic on Goldie Rd, jet overflights
A2	10:40AM – 10:55AM	65	81	Outdoor HVAC system noise, jet overflights up to 81 dBA
A3	10:56AM – 11:04AM ² 11:42AM – 12:00PM	74	91	Jet overflights
A4	1:16PM – 1:31PM	72	72	Road traffic on Goldie Rd, jet overflights
A5	1:33PM – 1:48PM	62	80	Road traffic on Goldie Rd, jet overflights
A6	1:53PM – 2:08PM	66	77	Road traffic on Goldie Rd and NE 21 st Ct
A7	2:11PM – 2:26PM	70	89	Road traffic on corner of Goldie Rd and NE 21 st Ct
A8	2:32PM – 2:47PM	55	67	Road traffic on Goldie Rd

1. The Lmax levels reported are based on the "slow" setting.
2. Measurement stopped due to rain

Based on the findings of both the continuous unattended and short-term attended sound level measurements, the existing ambient sound levels at the proposed site are already above the EDNA Class C noise source-to-receiver limits of 70 dBA Leq and 85 dBA Lmax during times of nearby road traffic noise and jet overflights.

5. PREDICTED SOUND LEVELS

5.1 Shooting Range

It is our understanding from discussions with Ronsons Design & Construction, LLC that the following operating scenario represents a peak (worst-case) number and type of firearms that may be discharged at the range during any given hour:

- six (6) 30-caliber rifles; and
- seven (7) 357 magnum pistols.

The site aerial (Figure 1-1) and the site layout shows that the firing line is oriented south to north. Based on the site aerial, the nearest neighboring properties to the site are approximately 10 degrees off-axis for receiver R1, and 90 degrees off-axis for receiver R2 relative to the shooting direction. Considering the receiver locations to the orientation of the firing line of the proposed site, downrange and lateral measurement data were used for receivers R1 and R2, respectively. Both receivers are located approximately 150 feet away from the shooting-range building.

BRC Acoustics & Audiovisual Design (BRC) previously conducted reference measurements of the above firearms at another shooting range. The following table presents the measurement data from our internal database, normalized to a measurement distance of 150 feet.

**TABLE 5-1
 SOUND LEVELS FROM FIREARM DISCHARGES, dBA**

Firearm	Measurement Distance (feet)	Firing-Line Measurements		
		Location	Lmax	SEL
30-caliber rifle	150	Downrange	101	94
	150	Lateral	104	95
357 magnum pistol	150	Downrange	109	101
	150	Lateral	103	94

Given the double 8"-thick CMU exterior walls for the shooting range, the focus of the current study is on sound transmission through the roof structure. The current design shows the following proposed roof/ceiling assembly for the Shooting Range:

- TPO membrane roofing;
- 1/8"-thick rolled foam pad;
- 1/4" mop down tar roofing;
- single layer 5/8"-thick plywood;
- single layer 3/8"-thick AR500 Armor steel plate;
- 2"x4" furring strips;
- 2"-thick rock wool sound insulation;
- 1"-thick Troy Board™ with 2"-thick Troy Wool by Troy Acoustics Corporation.

The estimated STC rating of the above roof assembly is STC-46.

The following table shows the calculated sound levels at receivers R1 and R2 from firearm discharges during peak operations at the proposed site.

**TABLE 5-2
 PREDICTED SOUND LEVELS FROM FIREARM DISCHARGES, dBA**

Receiver	Scenario	Firing-Line Measurements			Complies with WAC Class C source-to-receiver limit
		Location	Leq, hourly	Lmax	
R1 Approx. 150' away	(6) 30-caliber rifle + (7) 357 magnum pistols	Downrange	32 dBA	66 dBA	Yes
R2 Approx. 150' away	(6) 30-caliber rifle + (7) 357 magnum pistols	Lateral	28 dBA	61 dBA	Yes

We understand that a scenario that includes use of six 30-caliber rifles and seven 357 Magnum pistols within one hour represents the worst-case scenario for the proposed shooting range.

This operational scenario was used for calculation purposes, and the findings indicate predicted sound levels below the WAC Class C source-to-receiver limit of 70 dBA Leq and 85 dBA Lmax at the nearest receivers to the proposed site, as presented in Table 5-2 above. Additionally, the sound levels at receivers R1 and R2 from the proposed shooting range (via the roof assembly) are predicted to be lower than the existing ambient sound levels measured within the vicinity.

5.2 Retail

The current design shows the following proposed roof/ceiling assembly for the Retail side, with occupied spaces below this roof assembly:

- TPO membrane roofing;
- 1/8"-thick rolled foam pad;
- 1/4" mop down tar roofing;
- single layer 5/8"-thick plywood;
- 2 ft. air space with R-49 glass-fiber insulation;
- 2"x4" furring strips; and
- Single layer 5/8"-thick gypsum wall board.

We expect that the above proposed roof/ceiling assembly within the retail space will meet the STC-44 requirement per the Island County Code.

6. CONCLUSION

Based on the findings above, we expect that the proposed site operations will comply with the sound limits established for this project.

Sincerely yours,
BRC Acoustics & Audiovisual Design



Anita Joh, M.Des.Sc.
Senior Acoustical Consultant

Reviewed by:
BRC Acoustics & Audiovisual Design



Ioana Park, P.E.
Senior Acoustical Consultant
LEED AP BD+C

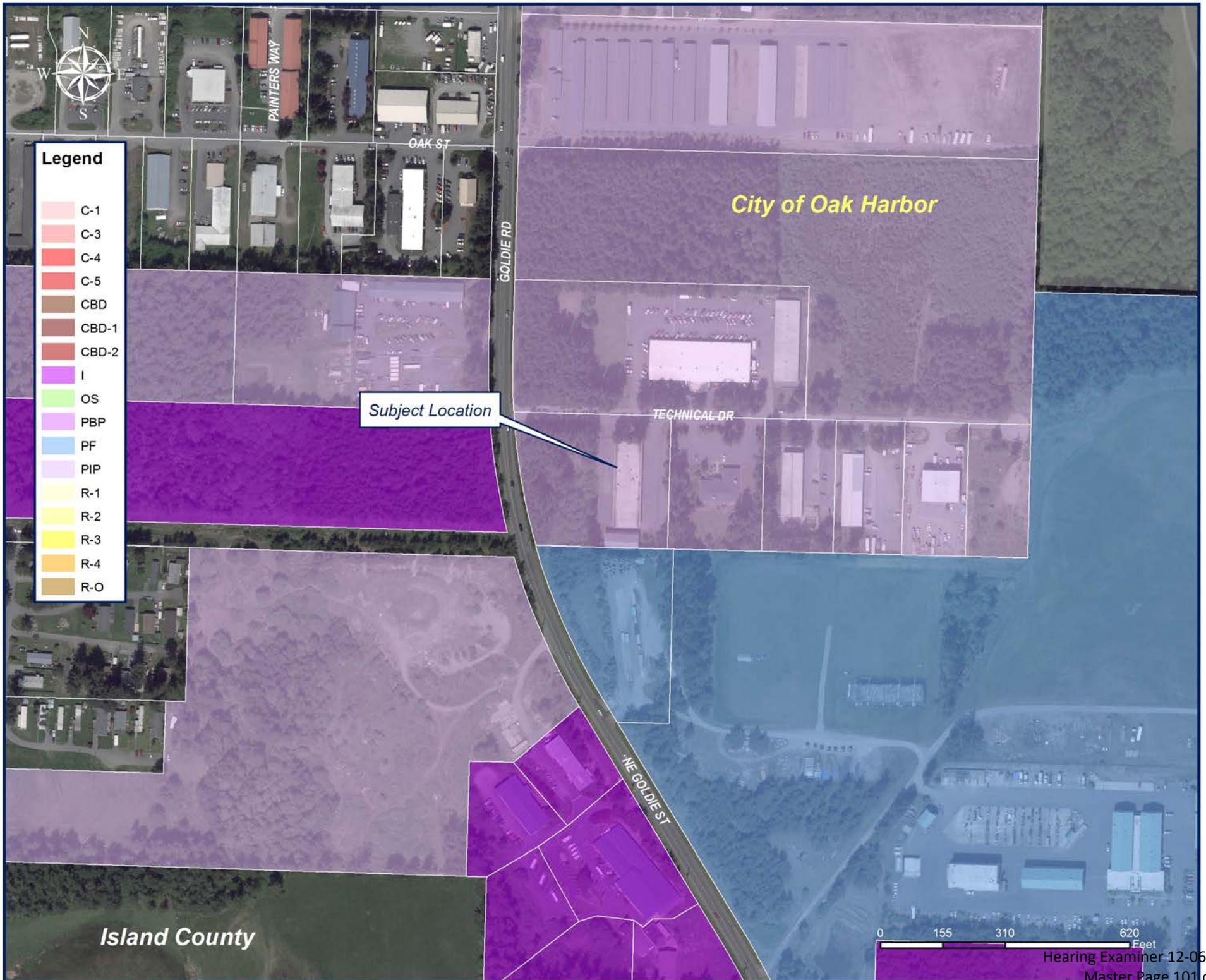
EXHIBIT 2

Vicinity Map



EXHIBIT 3

Zoning Map



Island County

City of Oak Harbor

Subject Location

EXHIBIT 4

*City Department
Requirements*

APPLICATION REVIEW COMMENTS

Date: November 21, 2016

To: Lisa Bebee, Permit Coordinator
Ray Lindenburg, Associate Planner

From: Brian Lee, Building Official

Re: **Pacific Indoor Tactical**
RGW Investments, LLC (R. Wallin)
951 NE 21st Court
Conditional Use Permit **(PRE-16-04)**

The Building Division offers the conditions of approval listed below. Full review of construction documents will be provided at the time the building permit application for the project is filed.

BUILDING DIVISION RECOMMENDED CONDITIONS OF APPROVAL:

1. That improvements within the Aviation Environs Overlay Zone be built to the standards of OHMC 17.30. OHMC 19.20.650 (5).
2. That a 30-dB noise level reduction is required in the 65 and above Ldn noise exposure zone as defined on the Oak Harbor official zoning map as noise Subdistrict B and C per OHMC 17.30.135(3) and that design and construction of acoustical measures be in accordance with the recommendations as submitted in the Acoustical Study prepared for the project by BRC Acoustics & Audiovisual Design dated November 17, 2016.
3. That all necessary approvals and permits be obtained prior to commencement of construction.

Engineering Review Comments For Pacific Indoor Tactical

(Conditional Use)
CUP-16-04

Review comments for Conditional Use Permit submitted 11/07/2016

Engineering

For Sewer Line Extension, Engineering/Public Works have no comments.

Archaeology

Regarding the proposed Pacific Tactical Conditional Use Permit (CUP-16-04), there are no cultural resource concerns since the undertaking is within an existing building.

The property is determined to be Moderately Low Risk of encountering cultural resources. An Inadvertent Discovery Plan (IDP) was issued for a prior undertaking where ground disturbing was proposed in August 2016.

If there are any questions in regard to archaeology, contact Gideon Cauffman, City of Oak Harbor Archaeologist, by calling (360) 279-4781 or via email at gcauffman@oakharbor.org.

10/5/2016

Fire Department Comments: Pacific Indoor Tactical, 951 N.E. 21st Ct. Oak Harbor WA

Fire Protection Features

1. **IFC 506.2 Key Box Maintenance.** The operator of the building shall immediately notify the fire code official and provide the new key where a lock is changed or rekeyed. The key to such lock shall be secured in the key box.

Provide a current key for the Fire Department KNOX box, if the current KNOX box has been removed or is no longer present contact the Fire Department for KNOX Box ordering instructions.

2. **IFC 901.4.3 Fire Areas.** Where buildings or portions thereof, are divided into fire areas so as not to exceed the limits established for requiring a fire protection system in accordance with this chapter, such fire areas shall be separated by fire barriers constructed in accordance with section 707 of the International Building Code. Or horizontal assemblies constructed in accordance with Section 711 of the International Building Code, or both, having a fire resistance rating of not less than that determined in accordance with section 707.3.10 of the International Building Code.

Contact the Building Department for specific requirements and approval for the fire separation wall.

3. **IFC 906.2 Portable Fire Extinguishers.** Portable fire extinguishers shall be selected, installed and maintained in accordance with this section and NFPA 10.

Install size 2A-10BC fire extinguishers near the exit doors in the office and retail building and one in the electrical room and one in the shooting range near the exit doorway.

4. **IFC 907.1.2 Fire Alarm Shop Drawings.** Shop drawings for fire alarm systems shall be submitted for review and approval prior to system installation.

Submit two sets of fire alarm plans meeting NFPA 72 requirements to the Fire Department for review.

Contact Mike Buxton, Oak Harbor Fire Department if you have any questions or need assistance. 360-279-4702 or mbuxton@oakharbor.org

EXHIBIT 5

*Public Noticing
Documents*



**CERTIFICATION OF NOTIFICATION
OF PUBLIC HEARINGS**

Oak Harbor Hearing Examiner
865 SE Barrington Drive
Oak Harbor, Washington 98277

I, Lisa Felix, am the Development Services Department Administrative Assistant for the City of Oak Harbor. I certify under penalty of perjury under the laws of the State of Washington that:

1. On the 16th day of November, 2016, I provided written notice to the Whidbey News Times Legals (legals@soundpublishing.com), to be published in the paper on the 19th day of November, 2016, of the Public Hearings before the Hearing Examiner, which is scheduled for the 6th day of December 2016; and
2. On the 18th day of November, 2016, I posted the notice on the City of Oak Harbor website and Channel 10.

Signed this 18th day of November, 2016, at Oak Harbor, Washington.

Lisa Felix
Administrative Assistant
Development Services Department



**CERTIFICATION OF POSTING
PUBLIC HEARING NOTICES**

Oak Harbor Hearing Examiner
865 SE Barrington Drive
Oak Harbor, Washington 98277

I, Lisa Felix, am the Development Services Department Administrative Assistant for the City of Oak Harbor. I certify under penalty of perjury under the laws of the State of Washington that:

On the 18th day of November, 2016, I did post three (3) notices (a copy of which is attached hereto and by reference made a part hereof) at the following locations:

1. Oak Harbor City Hall – Upstairs bulletin board
865 SE Barrington Drive
Oak Harbor, WA 98277
2. Oak Harbor City Hall – Downstairs bulletin board
865 SE Barrington Drive
Oak Harbor, WA 98277
3. Sno-Isle Library – Bulletin board
1000 East Regatta Drive
Oak Harbor, WA 98277

Advertising a public hearing for Conditional Use Permit CUP 16-03 and Conditional Use Permit 16-04 before the Hearing Examiner on the 6th day of December, 2016.

Executed this 18th day of November, 2016, at Oak Harbor, Washington.

Lisa Felix
Administrative Assistant
Development Services Department



**NOTICE OF PUBLIC HEARINGS BEFORE
HEARING EXAMINER**

HE 12-06-2016

Notice is hereby given that the following public hearings will be held before the City of Oak Harbor Hearing Examiner in the Council Chambers at City Hall, 865 SE Barrington Drive, Oak Harbor, WA, on **Tuesday, December 6, 2016 at 1:30 P.M.**, or as soon thereafter as possible following any preceding items, to consider the following items:

CHRIST THE KING COMMUNITY CHURCH CONDITIONAL USE PERMIT – CUP-16-03

The Hearing Examiner will consider a conditional use permit application submitted by Christ the King Community Church proposing to use 1036 SE Pioneer Way for church related use. The church proposes to use an existing 5,240 square foot commercial space as a meeting hall and shared parking spaces associated with the building. The current proposal is to accommodate approximately 60 members. The proposal includes adult services and children’s activities.

PACIFIC INDOOR TACTICAL CONDITIONAL USE PERMIT – CUP-16-04

The Hearing Examiner will consider a conditional use permit application submitted by Pacific Indoor Tactical proposing to use 951 NE 21st Court for an indoor firing range, firearm training and retail store.

Anyone wishing to comment on the above items or provide other relevant information may do so in writing or appear in person before the Hearing Examiner at the time and place of said public hearings. After obtaining public input and considering the matter, the Hearing Examiner may approve or deny the proposed application. As part of the approval, conditions or limitations may be imposed.

For additional information, you may contact the Department of Development Services in City Hall at (360) 279-4512.

All meetings of the Hearing Examiner are open to the public.

Lisa Felix, lfelix@oakharbor.org
Administrative Assistant, Development Services Department

POSTED ON FRIDAY, NOVEMBER 18, 2016:

- POSTED: City Hall Bulletin Boards
- POSTED: www.oakharbor.org
- POSTED: Sno-Isle Library Bulletin Board

EMAILED ON WEDNESDAY, NOVEMBER 16, 2016: legals@soundpublishing.com

PUBLISHED ON SATURDAY, NOVEMBER 19, 2016: Whidbey News Times

REMOVE WEDNESDAY, DECEMBER 7, 2016

865 S.E. Barrington Drive • Oak Harbor, Washington 98277-4092 • City Hall (360) 279-4500



**CERTIFICATION OF MAILING
NOTICE TO ADJACENT PROPERTY OWNERS**

I, Lisa Felix, certify under penalty of perjury under the laws of the State of Washington, that the following is true and correct:

That on the 18th day of November, 2016, I deposited in the U.S. mail, postage prepaid, a copy of the Notice of Public Hearing before the Hearing Examiner for Conditional Use Permit CUP 16-04 to take place on December 6, 2016 (a copy of which is attached hereto and by reference made a part hereof) to the following property owners:

[See attached list]

Executed this 18th day of November, 2016, in Oak Harbor, Washington.

A handwritten signature in blue ink, appearing to read "Lisa Felix".

Lisa Felix
Administrative Assistant
Development Services Department



November 18, 2016

**NOTICE TO ADJACENT PROPERTY OWNERS OF PUBLIC HEARING
OAK HARBOR HEARING EXAMINER**

You are receiving this notice because you own property within 300 feet of 951 NE 21st Court.

Notice is hereby given that a public hearing will be held before the City of Oak Harbor Hearing Examiner in the Council Chambers at City Hall, 865 SE Barrington Drive, Oak Harbor, WA, on **Tuesday, December 6, 2016 at 1:30 P.M.**, or as soon thereafter as possible following any preceding items, to consider the following:

PACIFIC INDOOR TACTICAL CONDITIONAL USE PERMIT – CUP-16-04

The Hearing Examiner will consider a conditional use permit application submitted by Pacific Indoor Tactical proposing to use 951 NE 21st Court for an indoor firing range, firearm training and retail store.

Anyone wishing to support or oppose the above item or provide other relevant comments may do so in writing or appear in person before the Hearing Examiner at the time and place of said public hearing. After obtaining public input and considering the matters, the Hearing Examiner may approve or deny the proposed application. As part of the approval, conditions or limitations may be imposed.

The conditional use permit application is available for review at the City of Oak Harbor Development Services Department at City Hall, 865 SE Barrington Drive. For more information, please contact the Permit Coordinator in the Development Services Department at 360-279-4510.

Comments submitted in writing must be received NO LATER THAN 5:00 P.M. on Monday, December 5, 2016, and may be submitted via:

Mail to: Development Services Department
 c/o Lisa Felix
 865 SE Barrington Drive
 Oak Harbor, WA 98277

Email to: lfelix@oakharbor.org

All meetings of the Hearing Examiner are open to the public.

Lisa Felix
Administrative Assistant
Development Services Department
lfelix@oakharbor.org

R13326-182-3010
DNB Facilities Development, LLC
PO Box 1003
Coupeville, WA 98239

R13326-112-2950
City of Oak Harbor
865 SE Barrington Dr.
Oak Harbor, WA 98277

R13326-150-1970
TIPROC Corporation
305 Stanford Ave
Menlo Park, CA 94025-6239

R13326-149-3180
Oak Harbor Investment Group
c/o Matt Riduff
7235 West Ridge Rd.
Mercer Island, WA 98040

R13326-101-4180
City of Oak Harbor
865 SE Barrington Dr.
Oak Harbor, WA 98277

R13326-083-2220
Mangat Properties, LLC
PO Box 1692
Marysville, WA 98270

R13326-149-3400
Skagit Valley College Business Office
2405 College Way
Mount Vernon, WA 98273

R13326-182-2300
White Trustee, Reginald Allen
Corrine Hinz White Trustee
2151 NE Goldie St., A-1
Oak Harbor, WA 98277

**CERTIFICATION OF POSTING
NOTICE OF APPLICATION**

Office of the City Administrator
865 SE Barrington Drive
Oak Harbor, WA 98277

I, Lisa Bebee, hereby certify under penalty of perjury under the laws of the State of Washington, that the following is true and correct:

That on the 4th day of November 2016, I did post 3 notices (a copy of which is attached hereto and by reference made a part hereof) at the following locations:

- 1&2) Oak Harbor City Hall
 865 SE Barrington Drive
 Oak Harbor, WA 98277

- 3) City Library
 1000 E Regatta Drive
 Oak Harbor, WA 98277

advertising a Notice of Application CUP-16-00004

Executed this 4th day of November, 2016 in Oak Harbor, Washington.



(Signature of person posting)

NOTICE OF APPLICATION

APPLICATION: Conditional Use CUP-16-04

Pacific Indoor Tactical

Pacific Indoor Tactical submitted a conditional use permit application proposing to use 951 NE 21st Court for indoor firearm training and retail store. The application was submitted on October 20, 2016 by Mr. Ron Wallin, RGW Investments, LLC and determined complete for processing on October 31, 2016. The property location is at 951 NE 21st Court, R13326-149-2850. Public comment period will run November 5 through November 21, 2016.

The plans have been circulated to City staff for review and comments. Plans for the proposal are available for review at the City of Oak Harbor's Development Services Department, located in City Hall. For more information, please call (360) 279-4510.

PROJECT LOCATION: Application CUP-16-04 is located at 951 NE 21st Court.

PUBLIC COMMENT PERIOD: To make written comments on this proposal, please mail or hand deliver specific comments to: City of Oak Harbor, Development Services Department, 865 SE Barrington Drive, Oak Harbor, WA 98277, no later than **5:00 p.m. on November 21, 2016.** If you have questions regarding this proposal, please contact the Development Services Department at (360) 279-4510, between 8:00 a.m. and 5:00 p.m.

ENVIRONMENTAL DOCUMENTS AND/OR STUDIES APPLICABLE TO THIS PROJECT: N/A

PUBLIC HEARING REQUIRED: This application will be scheduled for a public hearing before the Hearing Examiner. The notice of public hearing will be mailed when the date and time has been established for the hearing.

To receive notification of the decision on this proposal, please send a self-addressed, stamped envelope and request a Notification of Decision for application CUP-16-04 from the City of Oak Harbor, Development Services Department, 865 SE Barrington Drive, Oak Harbor, WA 98277.

Lisa Bebee
Permit Coordinator

Published: Whidbey News Times
Date: November 5, 2016

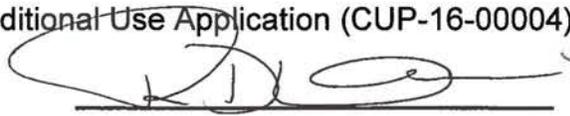
AFFIDAVIT OF POSTING

City of Oak Harbor
865 SE Barrington Drive
Oak Harbor, WA 98277

I, RON WALLIN, hereby certify that I did, on the 4 day of NOV., 2016 post 1 notice(s), a copy of which is hereunto attached, marked "Exhibit", and by the reference made a part thereof, at the following location(s):

- 1. 951 NE 21st Court, R133326-149-2850

advertising a Notice of Application for Conditional Use Application (CUP-16-00004).



(Signature of person posting)

SIGNED AND ATTESTED to before me this 4 day of November, 2016 by Ron Wallin.



Lisa K Bebee
Notary Public
Print Name Lisa K Bebee
Notary Public in and for the State of
Washington, Oak Harbor City/County
Commission expires Jan 19, 2020

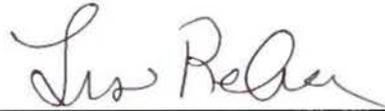
**CERTIFICATION OF MAILING
NOTICE TO ADJACENT PROPERTY OWNERS**

I, Lisa Bebee, certify under penalty of perjury under the laws of the State of Washington, that the following is true and correct:

That on the 4th day of November, 2016, I deposited in the U.S. mail, postage prepaid, a copy of the Notice to Adjacent Property Owners for Conditional Use CUP-16-00004 a copy of which is attached hereto and by reference made a part hereof) to the following property owners:

(see attached)

Executed this 4th day of November, 2016 in Oak Harbor, Washington.



(Signature of person mailing)



November 4, 2016

**NOTICE TO ADJACENT PROPERTY OWNERS
NOTICE OF APPLICATION**

APPLICATION: Conditional Use CUP-16-04 Pacific Indoor Tactical

Pacific Indoor Tactical submitted a conditional use permit application proposing to use 951 NE 21st Court for indoor firearm training facility and retail store. The application was submitted on October 20, 2016 by Mr. Ron Wallin, RGW Investments, LLC and determined complete for processing on October 31, 2016. The property location is at 951 NE 21st Court. Public comment period will run November 5 through November 21, 2016.

The plans have been circulated to City staff for review and comments. Plans for the proposal are available for review at the City of Oak Harbor's Development Services Department, located in City Hall. For more information, please call (360) 279-4510.

PROJECT LOCATION: Application CUP-16-04 is located at 951 NE 21st Court, Oak Harbor, WA.

PUBLIC COMMENT PERIOD: To make written comments on this proposal, please mail or hand deliver specific comments to: City of Oak Harbor, Development Services Department, 865 SE Barrington Drive, Oak Harbor, WA 98277, **no later than 5:00 p.m. on November 21, 2016.** If you have questions regarding this proposal, please contact the Development Services Department at (360) 279-4510, between 8:00 a.m. and 5:00 p.m.

PUBLIC HEARING REQUIRED: This application has tentatively been scheduled for a public hearing before the Hearing Examiner in December 2016. The notice of public hearing will be mailed when the date and time has been established for the hearing.

ENVIRONMENTAL DOCUMENTS AND/OR STUDIES APPLICABLE TO THIS PROJECT: N/A

To receive notification of the decision on this proposal, please send a self-addressed, stamped envelope and request a Notification of Decision for application CUP-16-04 from the City of Oak Harbor, Development Services Department, 865 SE Barrington Drive, Oak Harbor, WA 98277.

DNB Facilities Development, LLC
PO Box 1003
Coupeville, WA 98239

Oak Harbor Investment Group
c/o Matt Riduff
7235 West Ridge Rd.
Oak Harbor, WA 98277

State of Washington
General Admin Bldg./Property
Skagit Valley College
Olympia, WA 98504-0001

City of Oak Harbor
865 SE Barrington Dr.
Oak Harbor, WA 98277

City of Oak Harbor
865 SE Barrington Dr.
Oak Harbor, WA 98277

White Trustee, Reginald Allen
Corrine Hinz White Trustee
2151 NE Goldie St., A-1
Oak Harbor, WA 98277

TIPROC Corporation
305 Stanford Ave.
Menlo Park, CA 94025-6239

Mangat Properties, LLC
PO Box 1692
Marysville, WA 98270