



PLANNING COMMISSION

AGENDA

May 27, 2014

ROLL CALL: FAKKEMA _____ WASINGER _____
 JENSEN _____ PETERSON _____
 FIKSE _____ FREEMAN _____
 SCHLECHT _____

1. *Page 4*
Approval of Minutes – April 22, 2014
2. **Public Comment** – Planning Commission will accept public comment for items not otherwise on the agenda for the first 15 minutes of the Planning Commission meeting.
3. *Page 7*
BECKETT LANDING SUBDIVISION– Public Hearing
“Beckett Landing” is a proposed subdivision on 4.90 acres located south of the terminus of NW Prow Street, north of the existing and proposed Island Place development, and west of the Paragon Place development and Heller Road. The applicant proposes 22 single-family detached lots, with associated street and utility improvements and native vegetation areas. The Planning Commission will conduct a public hearing and potentially make a recommendation to City Council.
4. *Page 39*
WATER SYSTEM PLAN – Public Hearing
The City of Oak Harbor is updating its Water System Plan of which the Water Use Efficiency program is a part. A Water System Plan and Water Use Efficiency program is required to be adopted by the City every six years by the Washington State Department of Health for all public water systems. The purpose of the Plan and Efficiency program is to preserve state water resources and provide long-term maintenance of public water supplies. Staff will present information on the city water supply, current status of the Water Use Efficiency program and the goals proposed for the program as it continues to the public and the Commission. An essential component of the program is the water rate structure. Public comment is invited especially from water system customers. Materials supporting the rationale for water efficiency goals can be viewed at the Development Services Department at Oak Harbor City Hall, 865 SE Barrington Drive. This Planning Commission meeting will also serve as the informational meeting for consumers as required by WAC 246-290-100(8). Planning Commission is expected to accept comments in a public hearing for this item.
5. *Page 46*
2014 COMPREHENSIVE PLAN AMENDMENT – SCENIC VIEWS – Public Meeting
Staff will continue the discussion related to Scenic Views within Oak Harbor. Staff will present various goals and policies currently within the Comprehensive Plan that either support or conflict with ideas surrounding the preservation of scenic views.
6. *Page 58*
MEDICAL MARIJUANA – Public Meeting
A moratorium is presently in place prohibiting the establishment of medical marijuana collective gardens and marijuana dispensaries in Oak Harbor. Last month staff briefed the Planning Commission on the current status of medical marijuana law in Washington state. Staff will once again brief the Commission on this matter.

MINUTES

April 22, 2014

**PLANNING COMMISSION
REGULAR MEETING
CITY HALL – COUNCIL CHAMBERS
April 22, 2014**

ROLL CALL: Present: Keith Fakkema, Ana Schlecht, David Fikse, and Bruce Freeman
Absent: Sandi Peterson, Greg Wasinger and Kristi Jensen
Staff Present: Development Services Director, Steve Powers; Senior Planners, Cac Kamak and Ethan Spoo

Chairman Fakkema called the meeting to order at 7:35 p.m.

PUBLIC COMMENT:

None present for comment.

MINUTES: MR. FREEMAN MOVED, MR. FIKSE SECONDED, MOTION CARRIED TO APPROVE THE FEBRUARY 25, 2014 MINUTES AS PRESENTED.

2014 COMPREHENSIVE PLAN AMENDMENT – SCENIC VIEWS – Public meeting

Mr. Kamak presented the staff report summarizing the actions taken to-date regarding the scenic views study initiated in 2012 which began with a public outreach effort that solicited photos from citizens on scenic views within Oak Harbor. Criteria were developed to assist in the selection of views for preservation which led to the selection of 9 potential views for preservation. Over the next few Planning Commission will begin considering draft regulations/guidelines tailored specifically for each view.

Planning Commission Discussion

Commissioners asked staff if there were any mechanisms in place now should a development or redevelopment application be submitted today. Staff indicated that the Shoreline Master Program has a section on scenic views which would apply to properties within 200 feet of the Ordinary High Water Mark. For properties outside of that there are no regulations for scenic views today other than a general requirement in site plan chapter of the Municipal Code regarding impact on views. Mr. Fikse cautioned against restricting property owner rights and pushing business out of the business districts.

MARITIME USES – Public meeting

Mr. Kamak presented the staff report that presented background on the Maritime land use designation which was adopted in 2012 to foster development on lands adjacent to the Marina. Since zoning regulations are necessary to implement the intent of the Maritime land use designation, the Planning Commission discussed the basic framework for zoning regulations in early in 2013. Staff's next step is to draft regulations for Planning Commission review in May.

Planning Commission Discussion

Mr. Freeman asked staff to provide a map of the Marina area showing the property lines and what areas the City owns and State owns to help with their discussion about future redevelopment possibilities and zoning regulations.

MEDICAL MARIJUANA – Public meeting

Mr. Powers presented the staff report presenting background information on medical marijuana related uses. The City Council imposed a six-month moratorium on the establishment of medical marijuana dispensaries, collective gardens and the licensing and permitting thereof.

Planning Commission
April 22, 2014
Page 1 of 2

The Council voted to extend the moratorium on February 4, 2014 to await results of the pending legislation which sought to align the recreational marijuana law with those for medical marijuana but the 2014 Legislative session concluded without any such alignment. The lack of action at the State level has left Oak Harbor and other communities without any clear legislative direction to consider. Mr. Powers noted that recently the State Court of Appeals upheld the City of Kent's prohibition of collective gardens, ruling that collective gardens are not legal under Washington's current law. But it is likely that the ruling will be appealed to the State Supreme Court.

Mr. Powers welcomed Planning Commission's preliminary thoughts and stated that staff's goal is to present additional information to the Planning Commission's May meeting.

ADJOURN: 8:30 p.m.

Minutes submitted by: Katherine Gifford

DRAFT

Beckett Landing
Subdivision

Public Hearing

Memo

To: Members of the Planning Commission
Cc: Steve Powers, Development Services Director
From: Ethan Spoo, Senior Planner
Date: 4/9/2014
Re: Beckett Landing Subdivision – Staff Report

PURPOSE

This staff report summarizes the preliminary plat and critical areas applications for the proposed Beckett Landing subdivision. This is a Review Process IV, quasi-judicial proceeding intended to have Planning Commission review the preliminary plat, accept public comment, and make a recommendation to the City Council. As a quasi-judicial proceeding, the hearing is subject to the Appearance of Fairness Doctrine, due process, and limitations of open record hearings contained in Chapters RCW 42.36 and 36.70B.

PROJECT INFORMATION

Developer/Builder: Seattle Pacific Development, LLC

Location: South of the existing terminus of NW Prow Street, north of the approved Island Place Planned Residential Development, west of the existing Paragon Place development and east of the terminus of NW Riggings Lane.

Comprehensive Plan Designation: Medium Density Residential

Zoning: R-2 Limited Multi-family Residential

Site Area: 4.90 Acres

Lots: 22

Density: 4.49 dwelling units per acre

Open space provided: 0.41 acres

PROJECT DESCRIPTION

The proposal is a 22-lot subdivision on 4.90 acres (see Attachment A, Beckett Landing Preliminary Plat). The applicant is seeking preliminary plat approval to subdivide the site and create associated street, sidewalk, landscape strip and pedestrian access improvements. If the preliminary plat application is approved, as recommended subject to the conditions of approval in Attachment B, the applicant will proceed to the next step of the approval process which is the submittal of detailed civil engineering construction drawings.

Public, residential streets are proposed to serve the development. The project will extend the existing stub of NW Prow Street from north to south through the subdivision to provide connections to the Meadowridge development to the north and to Phase 2 of the approved Island Place development to the south. In addition, the applicant is also proposing to extend NW 7th Avenue to the western property boundary for eventual

connection with NW Upsala Drive. In the interim, the applicant will provide a temporary turnaround for emergency vehicles on the west side of the site.

The preliminary design of the site was influenced by the requirement to preserve the portion of the wetland at the southwest corner of the site, as well as the need to connect with the existing street system. That wetland is a category III wetland (category I are highest quality wetlands and category IV are lowest quality) with standard 70-foot required wetland buffer extending from the edge of the wetland. State law, as well as the City's critical areas code (Title 20), starts with the premise that wetlands will be preserved. The applicant does not propose any alteration to the wetland. The applicant has, however, applied for a critical area permit to reduce the size of the required wetland buffer from 70 feet to 40 feet using a combination of incentives available in the code such as infiltrating stormwater in the adjacent raingarden, protecting the wetland from light and noise using a fence, and replanting the wetland buffer with native trees and shrubs to enhance its quality. The applicant's wetland consultant, Wetland Resources, Inc., provided a Buffer Enhancement Plan (Attachment C) showing how they propose to install additional trees and shrubs in the buffer and maintain them for five years until established.

The applicant is also proposing to preserve 10 percent of the site area as native vegetation, as required by the City's code. These native vegetation areas are located in the rear yards of lots 16-20, in the wetland buffer in Tract 998, and in Tract 999 bordering lots 11-15. See Attachment D - Landscape Plans.

APPLICATIONS UNDER REVIEW

The application review before the Planning Commission contains the following two applications with further discussion of their review criteria below:

1. Preliminary Plat
2. Critical Areas Permit

PRELIMINARY PLAT

The City's code (OHMC 21.20.080) and state law establish criteria for the review of preliminary plats under OHMC 18.20.260. Planning Commission reviews the preliminary plat and makes a recommendation to the City Council after taking comments in a public hearing. Since the ultimate approval authority for preliminary plats is the City Council, the review criteria address the City Council, but Planning Commission uses the same criteria to make its recommendation. Below, staff are providing responses to the review criteria to assist Planning Commission in its decision. Please also see Attachment A, which is the Beckett Landing Preliminary Plat.

The City Council shall inquire into the public use and interest proposed to be served by the establishment of the subdivision and dedication(s). It shall make written findings:

- (a) **Whether appropriate provisions have been made for, but not limited to, the public health, safety and general welfare, for open spaces, drainage ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and schoolgrounds, and all other relevant facts, including sidewalks and other planning features that assure safe walking conditions for students who walk to and from school.**

Response:

- *Public health, safety and general welfare: The applicant is making provisions to prevent impacts to public health in the preliminary plat including providing connections to the public sewer and water system for each lot, channeling stormwater runoff away from buildings where it could damage structures, enhancing the quality of the wetland buffer, and providing safe and efficient streets. The applicant is meeting City subdivision requirements as regards to utilities and vehicle/pedestrian*

circulation which will help ensure the public health, safety and general welfare of residents of the subdivision. See Attachment E - Beckett Landing Preliminary Site/Utilities Plans.

There is a septic drain field and private force main on the subject property serving the Heathrow Apartments on the properties to the west and north of the Beckett Landing property. Staff is proposing that a condition of approval be applied to the preliminary plat approval requiring that the septic drain field and force main be decommissioned in accordance with State and County regulations prior to the issuance of building permits. This condition will protect public health by ensuring that the drain field is decommissioned in accordance with applicable regulations. The septic drain field and private force main are shown on Attachment F.

- *Open spaces: There is no minimum open space requirement for preliminary plats. Nevertheless, the applicant is providing passive open space surrounding the wetland to protect it as required by state and city code. This open space provision will provide aesthetic and environmental benefits to the future residents of the subdivision. Finally, the applicant will pay community and neighborhood park impact fees which will be used to construct new parks and park capital facilities within Oak Harbor to serve the residents of this subdivision.*
- *Drainage Ways: The sole natural drainage on the site is a depressional wetland located at the southwest corner of the site. This wetland receives runoff and groundwater from the site during times of heavy rainfall. The applicant is proposing to preserve this wetland and enhance the buffer around it with additional plantings. In addition, stormwater runoff from the impervious surfaces on the site will be channeled to and treated in the onsite raingarden adjacent to the wetland. During times of heavy rainfall, the raingarden and overflow spreader may release treated stormwater to the wetland. Staff is recommending that a condition of approval be applied requiring that the applicant meet all city standards when submitting construction drawings, thereby requiring the applicant's raingarden design to also meet applicable standards. (see Attachment B). Through this condition of approval and the proposed preservation of the wetland, the applicant is making appropriate provisions for drainage ways onsite and mitigating impacts to the drainage ways from proposed development through the treatment of stormwater.*
- *Transit stops: Island Transit serves the site within walking distance. There is a transit stop along Heller Street near the intersection of Crosby Avenue within ¼ mile served by routes 2, 9, and 10. The site, thus, has a high level of transit service.*
- *Potable water: as previously mentioned, each lot within the subdivision will be connected to the City's public water system which is a high quality system meeting state quality requirements. The City has planned for and can accommodate the growth in population on the subject site to serve it with potable water.*
- *Sanitary wastes: Each lot within the site will be served by the City's solid waste service.*
- *Parks and recreation, playgrounds: The applicant will pay a neighborhood and community park impact fee to help offset the City's cost of providing park and recreation facilities to the residents of the subdivision.*
- *Schools and school grounds: The Oak Harbor School District will serve the residents and children of the proposed subdivision for educational needs from kindergarten through grade 12. The residents of the subdivision will contribute to the funding of the school district through the payment of property taxes.*

- *Other relevant facts, sidewalks, safe routes to school: The applicant is proposing to provide sidewalks on both sides of the public streets within the subdivision. In addition, the applicant will provide a pedestrian/bike connection from the eastern terminus of NW 7th Avenue south toward the Island Place development. The pedestrian/bike connection will help create an interconnected, multimodal transportation system and shorten walking distances to school facilities.*

(b) Whether the public use and interest will be served by the platting of the subdivision and dedications(s)

Response: The public interest for this property is represented in the City of Oak Harbor Comprehensive Plan, which designates this site for medium-density residential development. The applicant is proposing to subdivide the site to allow for future construction of single-family residences, which is an allowed use in the R-2 Limited Multifamily Residential zone, which implements the City's comprehensive plan. In addition, the applicant is proposing public facilities to serve the lots such as public water, sewer, and roads, which will help ensure that the public interest is served through the provision safe, efficient utilities and transportation.

CRITICAL AREAS PERMIT

The applicant is proposing to reduce the size of the standard 70-foot wetland buffer for the category III wetland onsite to 40 feet using incentives and buffer averaging. To do so, the applicant needs approval of a critical areas permit in compliance with OHMC Title 20. The applicant has submitted a Wetland Report (B&A, Inc. dated September 23, 2014), an Addendum to Wetland and Buffer Enhancement Reports (Wetland Resources, Inc. dated March 11, 2014), and a Buffer Enhancement Plan (Wetland Resources, Inc. dated March 11, 2014). Together, these documents demonstrate compliance with the City's critical areas code and show how the applicant will enhance the wetland buffer with additional native species, maintain these plantings, and monitor them for success. Staff is recommending approval of the applicant's critical areas permit request.

STATE ENVIRONMENTAL POLICY ACT

A Mitigated Determination of Non Significance (MDNS) was issued by the Director on April 4, 2014 for the project (see Attachment G). The SEPA Official issued a revised SEPA MDNS on April 21, 2014 to add a condition addressing the decommissioning and removal of the septic drain field and private force main on the property based on comments received during the SEPA MDNS comment period. With the mitigation measures described in the determination, all of the anticipated environmental impacts from the proposed subdivision project will be mitigated to a level of non-significance. The mitigation measures include complying with the City's critical areas regulation for the wetland, installing City-approved street lights, installing a traffic calming device along Prow Street, and decommissioning the private force main and septic drain field in accordance with State and Island County regulations.

CONCLUSION

Based on the information provided by the Applicant and the review and analysis conducted through the application process, staff find the Applicant has sufficiently addressed the requirements of the OHMC relating to preliminary plats and critical areas permits. Staff recommends that Planning Commission recommend approval of the preliminary plat and critical areas permit subject to the conditions of approval in Attachment B.

RECOMMENDATIONS

1. Conduct the public hearing

2. Forward a recommendation to City Council for approval of the preliminary plat and critical areas permit for Beckett Landing subject to the conditions of approval as stated in Attachment B.
3. Adopt Findings of Fact (see Attachment H).

ATTACHMENTS

1. Attachment A – Preliminary Plat Map dated March 24, 2014
2. Attachment B – Conditions of Approval
3. Attachment C – “Buffer Enhancement Plan”, Sheet 1/1, Wetland Resources, Inc. dated March 25, 2014.
4. Attachment D – “Landscape Plans”, Sheets L1-L6, Origin Design Group, dated March 24, 2014.
5. Attachment E – “Beckett Landing Preliminary Site/Utilities Plans” Sheets C1.0 – C3.0, SDA, dated March 24, 2014
6. Attachment F – Preliminary Plat showing drain field and force main.
7. Attachment G – SEPA MDNS, dated April 4, 2014
8. Attachment H – Planning Commission Findings of Fact

Conditions of Approval

General

1. The applicant's civil engineering construction drawings, landscape plans, land clearing plans, grading plans, and final plat drawing shall be in general conformance with the approved preliminary plat drawing titled "Preliminary Subdivision of Beckett Landing," Sheet 1 of 2 dated March 24, 2014.
2. The applicant's engineering construction drawings and final plat shall be in general conformance with the approved "Buffer Enhancement Plan, Sheet 1/1" by Wetland Resources Inc. dated March 25, 2014.

Landscaping

3. Prior to construction permits being issued, the applicant shall submit detailed landscape and irrigation plans in compliance with OHMC 19.46.
4. The applicant shall post a three year maintenance bond to ensure landscaping completion and a minimum plant survival of 80 percent at the end of three years. The type of bond shall be approved by the City and must be submitted on forms supplied by the City of Oak Harbor. The approved bond shall be posted with the Development Services Department prior to the issuance of a building permit. The bond amount shall be 150 percent of a landscaping maintenance bid amount submitted and approved by the City. The bid amount must include labor and materials.
5. Prior to final plat approval, the applicant shall submit covenants for the commonly owned native vegetation areas which describe how these areas are to be preserved and maintained. The maintenance provisions shall at a minimum describe cutting, trimming, topping, pollarding procedures and removal of non-native vegetation, trash and debris.
6. Prior to final plat approval, the applicant shall provide easements for all native vegetation areas contained within private lots which describe how these areas are to be preserved and maintained. The maintenance provisions shall at a minimum describe cutting, trimming, topping, pollarding procedures and removal of non-native vegetation, trash and debris.

Plat Drawing

7. Prior to approval of final plat, the applicant is required to submit a copy of all proposed deed restrictions and covenants.
8. The applicant shall include dedication language on the face of the final plat as stated in OHMC 21.40.040.
9. Prior to approval of final plat, the applicant shall delete the existing language on the face of the plat referencing maintenance by the City of the pedestrian trail easement in Tract 999 and replace it with the following language: "The pedestrian bike connection is contained within a publicly accessible easement. All improvements and landscaping within the easement shall be maintained by the

homeowners association. If fencing is installed along the length of the pedestrian bike connection it shall be no more than 6 feet high when adjacent to the side yard areas of adjacent lots and no more than 3 feet high adjacent to front yard areas of adjacent lots. Fencing shall not be installed within 10 feet of the terminus of the pedestrian/bike connection at either end."

10. Prior to approval of civil engineering construction drawings, the applicant shall show bollard lighting at both ends of the pedestrian/bike connection for illumination and safety. The bollard lighting shall be shown on the construction drawings.

11. Prior to approval of civil engineering construction drawings, the applicant shall show signs at both entrances of the pedestrian connection indicating that it is publicly accessible to bikes and pedestrians, but that motorized vehicles are prohibited. Such signs shall be depicted on the construction drawings and located in the adjacent landscape strips so as to limit the probability of conflicts with pedestrians and bikes.

Critical Areas

12. The applicant shall submit wetland and buffer monitoring reports in years 1, 3, and 5 after initial planting to the City of Oak Harbor, Development Services Department. These reports must meet the recommendations contained in the Addendum to Wetland and Buffer Enhancement Report" and the Buffer Enhancement Plan, sheet 1/1 dated March 11, 2014 and submitted to the City on March 25, 2014.

13. Prior to approval of final plat, the applicant shall submit a financial guarantee to ensure that the buffer enhancement plan is fully implemented and meeting performance standards. Guarantees shall be in the form of a surety bond, performance bond, assignment of savings account, or an irrevocable letter of credit guaranteed by an acceptable financial institution with terms and conditions acceptable to the city. Guarantees shall remain in effect for a minimum of five years until the city determines, in writing that the standards bonded for have been met, to ensure that the required mitigation has been fully implemented and demonstrated to function. Depletion, failure, or collection of bond funds shall not discharge the obligation of an applicant or violator to complete required mitigation, maintenance, monitoring, or restoration.

14. The applicant shall place permanent native growth protection area signs as depicted on the Buffer Enhancement Plan by Wetland Resources, dated March 25, 2014. These signs shall be placed in three locations around the perimeter of the wetland adjacent to proposed lots 7, proposed lot 8 and Tract 997.

15. Prior to final plat approval, the applicant shall install a 6-foot high solid fence along the proposed buffer perimeter line to block noise and light and provide added protection from humans and pets.

Engineering

16. Following approval of the Preliminary Plat, construction plans must be submitted to and approved by the Engineering Department prior to commencing any construction activities. These plans must include all street and frontage improvements (including sidewalk, curb, gutter, paving, traffic control, storm drainage, and street illumination), all pedestrian tract improvements (lighting, pathway, landscaping), and all existing and proposed utilities including, but not limited to water, sewer, storm drainage (including a site drainage analysis), power, telephone, cable, and gas. All proposed improvements must meet the City of Oak Harbor standards for materials and installation practices. (Note to applicant: based on the final design of the stormwater treatment and flow control facilities, Tract 997 and/or the setbacks from the stormwater facilities may have to increase in size.)

17 Prior to final plat approval, the applicant shall grant an easement to the City of Oak Harbor which shall contain the proposed temporary turnaround on the west side of the site. This easement shall be granted for the purposes of pedestrian and vehicle travel. No improvements for lots 7 and 8 including, but not limited to driveways, landscaping, buildings, or fences shall be constructed within the easement for the temporary turnaround. The easement shall be reflected on the final plat drawing.

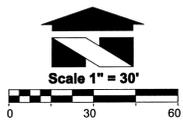
18. Prior to issuance of construction permits, the applicant shall submit civil engineering construction drawings showing the proposed temporary improvements within the temporary turnaround area on the west side of the site. The temporary improvements shall include:

- a. Curb, gutter, and sidewalk around the perimeter (circumference) of the temporary turnaround. The sidewalk shall be constructed of 6-inch thick concrete for the sidewalk to accommodate the loads of an emergency vehicle.
- b. Asphalt pavement section in accordance with City Standards.

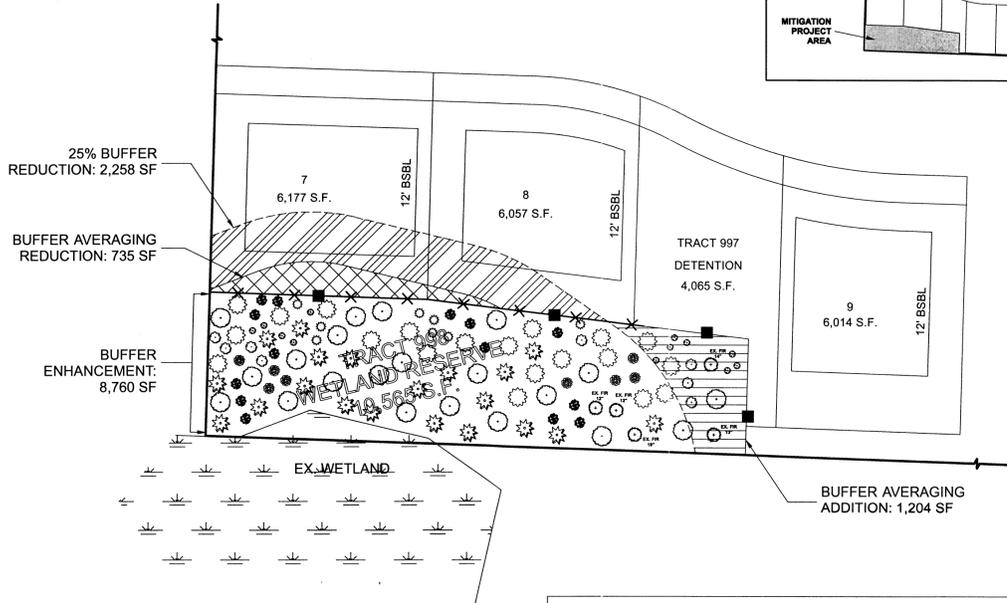
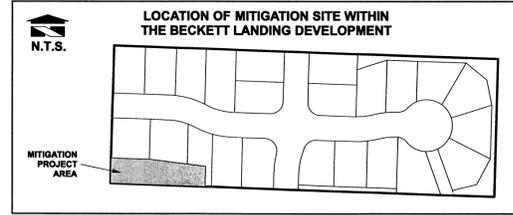
19. No portion of the temporary turnaround on the west side of the site shall be north of the face of the curb along the north side of N.W 7th Avenue.

20. After extinguishment of the turnaround easement, and prior to issuance of a building permit for lot 7, the owner of lot 7 shall be responsible for the removal of the asphalt pavement section and concrete improvements from the easement area, restoration of appropriate areas to grass, and installation of pavement, curb, gutter, sidewalk, planter strip, (including irrigation if present in adjoining planter strip) street trees and other necessary appurtenances to complete the road frontage section in alignment with a westerly extension of N.W. 7th Avenue.

21. The applicant must decommission or abandon in-place the existing private septic pressure line and drain field on the property in accordance with Island County Health Department and State of Washington Department of Health requirements prior to the issuance of construction permits on the subject site.



APPROVED *subject to conditions of approval*
 City of Oak Harbor
 Development Services Dept.
 Signature: [Signature] Date: 5/20/14



LEGEND

- 25% BUFFER REDUCTION
- BUFFER AVERAGING REDUCTION
- BUFFER AVERAGING ADDITION
- WETLAND
- STANDARD BUFFER
- 6' SOLID FENCE
- EXISTING FIR TREE TO BE RETAINED
- NGPA SIGN

BUFFER ENHANCEMENT PLAN

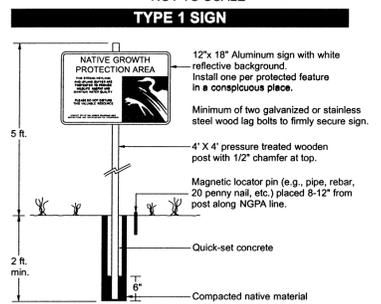
As part of the proposed 25-foot reduction of the on-site wetland buffer, the applicant will enhance 8,760 square feet of the remaining buffer area with a diversity of native species. The area to be enhanced is currently vegetated sporadic red alder, Douglas fir and salmonberry. Portions of the buffer area to be enhanced is degraded and devoid of native understorey. Plans for enhancement will include removal of existing trash and invasive species and then planting the designated areas with the recommended species listed below.

The proposed plant spacing takes into account the existing native vegetation in the buffer area. Some light pruning of desirable native vegetation may be necessary to make space for new plantings. Plant spacing will be on 100% of the area planted to trees on approximate 12' centers, and 20% of the area planted to native shrubs on 6' centers. All new plantings will be flagged with brightly colored ribbon. A minimum 2-foot diameter, 2-inch thick ring of mulch will be placed at the bases of each of the plantings. Plant quantities may be adjusted upon installation, if it is determined that the disturbance area is smaller or larger than anticipated. The following plant species are proposed:

Buffer Enhancement Planting Plan (8,760 square feet)

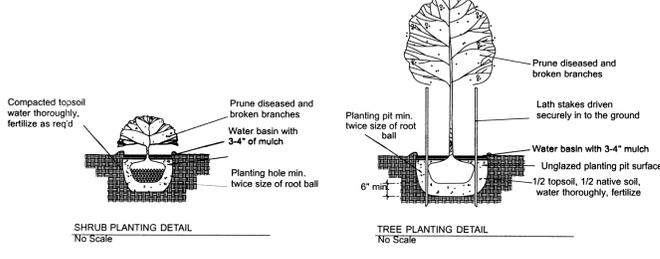
Common Name	Latin Name	Size	Spacing	Quantity
Douglas fir	<i>Pseudotsuga menziesii</i>	1 gal	12'	20
Western red cedar	<i>Thuja plicata</i>	1 gal	12'	20
Sitka spruce	<i>Picea sitchensis</i>	1 gal	12'	20
Western hazel	<i>Corylus cornuta</i>	1 gal	6'	8
Vine maple	<i>Acer circinatum</i>	1 gal	6'	8
Snowberry	<i>Symphoricarpos albus</i>	1 gal	6'	14
Salal	<i>Polystichum munitum</i>	1 gal	6'	12
Nootka rose	<i>Rosa nutkana</i>	1 gal	6'	8

NATIVE GROWTH PROTECTION AREA SIGN INSTALLATION GUIDELINES



NOTES:
 1. NGPA signs shall be placed no greater than 50 feet apart around the perimeter of the Native Growth Protection Area.
 Minimum placement shall include one sign per any lot that borders the Native Growth Protection Area, unless otherwise approved by the City.
 2. Sign placement shall be subject to the approval of the City. Alternative sign designs may be submitted to City for approval.
 3. All signs must be secure and permanent.

PLANT INSTALLATION GUIDELINES



FENCING

A solid 6-foot fence will be constructed along the proposed buffer that borders the two lots to the north. This fence will block noise and light away from the wetland and buffer areas as well as keep people and pets out of the buffer area.

NGPA SIGNS

In the city of Oak Harbor, regulated streams, wetlands and their buffers are designated collectively as Native Growth Protection Areas (NGPA). Native Growth Protection Areas are to be left undisturbed in their natural state.

The city requires the posting of signs along the NGPA boundary that designate the presence of the NGPA. Signs shall be placed at approximately 50-foot intervals around the perimeter of the NGPA. Minimum placement shall include one per lot that borders the NGPA. Exact sign language shall be approved by the City. An example of NGPA sign language is as follows:

*NATIVE GROWTH PROTECTION AREA
 DO NOT DISTURB
 CONTACT CITY OF OAK HARBOR REGARDING USES, RESTRICTIONS, AND OPPORTUNITIES FOR STEWARDSHIP*

Signs shall be constructed of aluminum or similar durable material. The signs shall be secured to minimum 6" x 4" x 4" pressure treated posts buried a minimum two-foot deep in quick setting concrete.

PROJECTS GOALS, OBJECTIVES AND PERFORMANCE STANDARDS

The following goal, objectives and performance standards will be evaluated to ensure success of the mitigation project.

Goal:

The goal of this project is to enhance 8,760 square feet of the remaining wetland buffers on the site with a diversity of native conifers and shrubs to mitigate the loss of 2,993 (2,258 + 735) square feet of wetland buffer habitat. The enhancement plantings are intended to improve habitat diversity/function, vegetative screening, wetland protection, and restore previously degraded portions of the buffer. The project goals will be achieved if the enhancement area meets the following definitions of success:

Performance Standards:

- Year 1: 100% survival of plantings, 40% cover by native trees and shrubs, & less than 10% cover of invasive species;
- Year 3: 80% survival of plantings, 60% cover by native trees and shrubs, & less than 10% cover of invasive species; and
- Year 5: 80% survival of plantings, 80% cover by native trees and shrubs, & less than 10% cover of invasive species.

Note: tree/shrub cover percentages may include native pioneer species and existing native species in addition to planted species.

PLANTING NOTES

Timing: Plant in the early spring or late fall. Planting shall not be done in the summer unless the applicant supplies a temporary irrigation system. Order plants from a reputable nursery. Care and handling of plant materials is extremely important to the overall success of the project. All plant materials recommended in this plan should be available from local and regional sources, depending on seasonal demand. Some limited species substitution may be allowed, only with the agreement of the consulting wetland professional.

Plant Distribution: The plants shall be arranged in a pattern with the appropriate numbers, sizes, species, and distribution to achieve the desired vegetation coverage. The actual placement of individual plants shall mimic natural, asymmetric vegetation patterns found on similar undisturbed sites in the area. Spacing of the plantings may be adjusted to maintain existing vegetation with approval from the consulting wetland professional.

Mulch: Wood chips shall be used for mulching in the areas planted to trees and shrubs. All existing vegetation is to be removed from a two-foot diameter area at each planting site. Wood chips are to be placed in this two-foot diameter area at a depth of three to four inches, and not within 2" of the plant stem.

Inspections: A certified wetland professional shall inspect the plantings described in this plan. Due to the physical condition of the site, unusual or hidden site situations, minor adjustments to the original designs may be required prior to and during planting. These decisions will be made on-site by the City representative and/or the consulting wetland professional.

Plant Marking: Lath staking or other marking device, such as brightly colored surveying ribbon, shall be placed on or near each installed tree and shrub to assist in locating the plants during maintenance and monitoring.

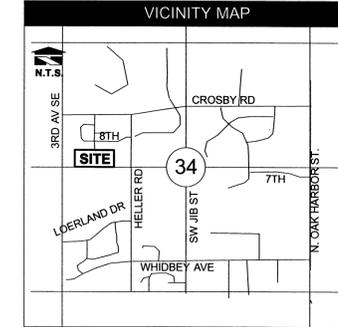
CLEARING/GRADING, TIMING & TESC

Please refer to the project engineer's plans for detailed information on clearing and grading on this site.

Construction activities within and adjacent to the wetland areas shall be done during the dry season, from approximately June to late September.

Prior to beginning any development or mitigation activities, construction or siltation fencing shall be installed as described in the grading plan construction drawings. A pre-construction meeting between the City, the consulting wetland professional, contractor and equipment operator(s) will be held prior to any mitigation activities to inspect the location of siltation fencing.

All sedimentation control facilities shall be kept in place and functioning until vegetation is firmly established. Refer to site engineer's TESC plan for all erosion and sedimentation control details.



PRE-CONSTRUCTION MEETING

A pre-installation site meeting shall occur between the consulting biologist, the contractor, and the landscaper prior to construction. Details of planting the mitigation area shall be discussed during this pre-installation site meeting.

PROJECT MONITORING PROGRAM

Requirements for monitoring project

Monitoring reports, including a final report, shall be completed during Years 1, 3, & 5.

Purpose for Monitoring

The purpose for monitoring this mitigation project shall be to evaluate its success. Success will be determined if monitoring shows at the end of 5 years that the goals and performance standards stated above are being met. If the project does not meet the definition of success, the City may extend the bonding period. The property owner shall grant access to the mitigation area for inspection and maintenance to the contracted landscaper or wetland specialist and the City biologist during the period of the bond or until the project is evaluated as successful.

Methodology

During the each inspection, the planted vegetation will be monitored within each mitigation area. Monitoring vegetation involves measuring plant species establishment, survival, vigor, and vitality. The percentages of spatial cover of the dominant species for each of the three plant community layers are estimated in each planting area. Wildlife monitoring is limited to species heard or observed during the site visits. Monitoring of vegetation shall be done annually between August 1 and October 30 (prior to leaf drop), unless otherwise specified.

The following data shall be recorded for each data site:

- Species present
- Aerial cover by native and non-native species
- Quantity of dead plants
- General observations

Photo points

Permanent photo points will be established within the mitigation areas. Photographs will be taken from these points to visually record condition of the enhancement area. Photos shall be taken annually between August 1 and October 30 (prior to leaf drop), unless otherwise specified.

MAINTENANCE MEASURES

The planting areas may require periodic maintenance during the monitoring period. Maintenance may include, but will not be limited to: removal of competing grasses and invasive vegetation (by hand if necessary), irrigation, replacement of plant mortality and/or the replacement of mulch. Aggressive control of invasive grasses may be required in the restoration areas. Chemical control, if necessary, shall be applied by a licensed applicator following all label instructions.

CONTINGENCY PLANNING

If 20 percent of the plants are severely stressed during any of the inspections, or it appears 20 percent may not survive, additional plantings of the same species may be added to the planting area. Elements of a contingency plan may include, but will not be limited to: more aggressive weed control, pest control, mulching, replanting with larger plant material, species substitution, fertilization, soil amendments, and/or irrigation.

PERFORMANCE BONDING

A performance bond shall be provided to the City for the period of five years from the completion of the project, for the estimated cost for plant materials/labor, maintenance and monitoring. Annual monitoring reports and seasonal maintenance will be required to assure the success of this enhancement plan. The bond shall be released at the end of five years, only upon successful determination for all portions of this mitigation project. The following is an estimate of plant materials, labor, maintenance and monitoring. This does not represent a bid to install:

Estimated cost of installing 110 one-gallon plants (\$10.50/plant)	\$1,045.00
Estimated cost of maintenance (\$400.00/year for five years)	\$2,000.00
Estimated cost of monitoring (\$900.00/year for Years 1, 3 & 5)	\$2,700.00
Estimated Cost of Project/Bond Amount	\$5,745.00

WRI JOB #13282

Drawn By: A. Bachman

REV. DATE: March 11, 2014

Wetland Resources
 9505 19th Ave SE, Suite 106
 Everett, WA 98208
 Tel: (425) 337-3174
 Fax: (425) 337-3045

PREPARED FOR:
 Seattle Pacific Homes
 Attn: Nate Perkl
 120 SW Everett Mail Way, #100
 Everett, WA 98204

BUFFER ENHANCEMENT PLAN
BECKETT LANDING
 CITY OF OAK HARBOR, WASHINGTON
 (Portion of Section 34, Township 33N, Range 1E, W.M.)

RECEIVED
 May 15 2014
 City of Oak Harbor
 Development Services Department

GENERAL NOTES

THE GENERAL CONTRACTOR IS TO PROVIDE SUBGRADES 4" BELOW HARD SURFACES PLUS/MINUS .1 FOOT.

ALL ROUGH GRADING SHALL BE POSITIVE, DRAINING AWAY FROM ALL STRUCTURES.

ALL STONES LARGER THAN 1.5" DIAMETER SHALL BE REMOVED FROM THE GROWING MEDIUM.

TOPSOIL SHALL BE PLACED AT A MINIMUM DEPTH OF 8" IN ALL LAWN AND BED AREAS.

TOPSOIL SHALL BE TILLED INTO THE EXISTING SUBGRADE TO ELIMINATE SOIL INTERFACE PROBLEMS.

ALL BED AREAS TO RECEIVE 2" OF FINE GROUND FIR OR HEMLOCK BARK, COMPOSITION MULCHES ARE NOT AN ACCEPTABLE ALTERNATIVE.

TREES AND SHRUBS ARE TO BE PLANTED AT A DEPTH 3/4" HIGHER THAN THE LEVEL THAT THEY WERE GROWN IN THE NURSERY.

BARK MULCH IS NOT TO BE PLACED ABOVE THE ROOT CROWN.

ALL PLANTS SHALL AT LEAST CONFORM TO THE MINIMUM STANDARD ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

LAWN AREAS ARE TO BE HYDROSEEDED WITH VAN DEN AKKER'S EMERALD VELVET MIX PER MANUFACTURER'S SPECIFICATIONS, OR APPROVED EQUAL. REMOVE ALL STONES LARGER THAN 1" FROM LAWN AREAS.

SUBSTITUTIONS ARE STRONGLY DISCOURAGED. IF PLANT AVAILABILITY IS A PROBLEM, CONTACT THE LANDSCAPE ARCHITECT FOR SOURCES OR ACCEPTABLE ALTERNATIVES.

IF THE SITE WORK IS DIFFERENT THAN SHOWN ON THE LANDSCAPE PLAN, OR POOR SOILS AND DEBRIS ARE DISCOVERED, REQUIRING CHANGES TO THE LANDSCAPE PLAN, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTION.

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE LANDSCAPE DURING INSTALLATION, UNTIL FINAL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

THE LANDSCAPE CONTRACTOR SHALL WARRANTY ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR, FROM THE TIME OF FINAL ACCEPTANCE.

DURING THE WARRANTY PERIOD, THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT DEATH CAUSED BY UNUSUAL CLIMATIC CONDITIONS, VANDALISM, THEFT, FIRE, OR POOR MAINTENANCE PRACTICES. THE LANDSCAPE ARCHITECT SHALL HAVE SOLE AUTHORITY TO DETERMINE THE CAUSE OF DEATH.

PLANT COUNTS PROVIDED ARE ESTIMATES ONLY. CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL FINAL AREA AND COUNTS.

MAINTENANCE NOTES PER OHMC 19.46.080

Maintenance of required landscape areas.

(1) Maintenance of Cultivated Areas.

(a) General. The owner of land subject to this chapter shall be responsible for the maintenance of said land in good condition so as to present a healthy, neat, and orderly landscape area.

(b) Maintenance of Plants. All landscaping and screening areas shall be maintained in a healthy, growing condition. Broken, dead, or dying trees, shrubs, or other plants shall be replaced. All landscaping and screening shall be kept free of trash and weeds.

(c) Tree Removal. It shall be the responsibility of each private property owner to remove any dead, diseased, or dangerous trees or shrubs, or part thereof, located on private property which overhang or interfere with traffic control devices, public sidewalks, rights-of-way, or property owned by the city. The city shall have the authority to order the removal and possible replacement of any such trees or shrubs.

(d) Pruning.

(i) All pruning should be accomplished according to good horticultural standards. Trees shall be pruned only as necessary to promote healthy growth;

(ii) Unless special approval is provided, trees shall be allowed to attain their normal size and shall not be severely pruned or "hat raked" in order to permanently maintain growth at a reduced height;

(iii) Trees may be periodically pruned or thinned in order to reduce the leaf mass and stimulate further branching.

(e) Mowing. Grass shall be mown as required in order to encourage deep root growth and therefore the preservation of irrigation water.

(f) Edging. All roadways, curbs, and sidewalks shall be edged when necessary in order to prevent encroachment from the adjacent grass areas.

Power trimmers shall not be used to trim grasses around trees since they will quickly remove bark causing deterioration and eventual death of the tree.

(g) Watering. All watering of planted areas shall be managed so as to:

(i) Maintain healthy flora;

(ii) Make plant material more drought-tolerant;

(iii) Avoid excessive turf growth;

(iv) Minimize fungus growth;

(v) Stimulate deep root growth;

(vi) Minimize leaching of fertilizers;

(vii) Minimize cold damage.

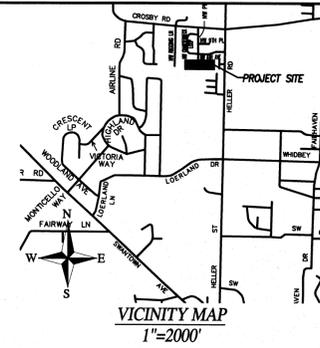
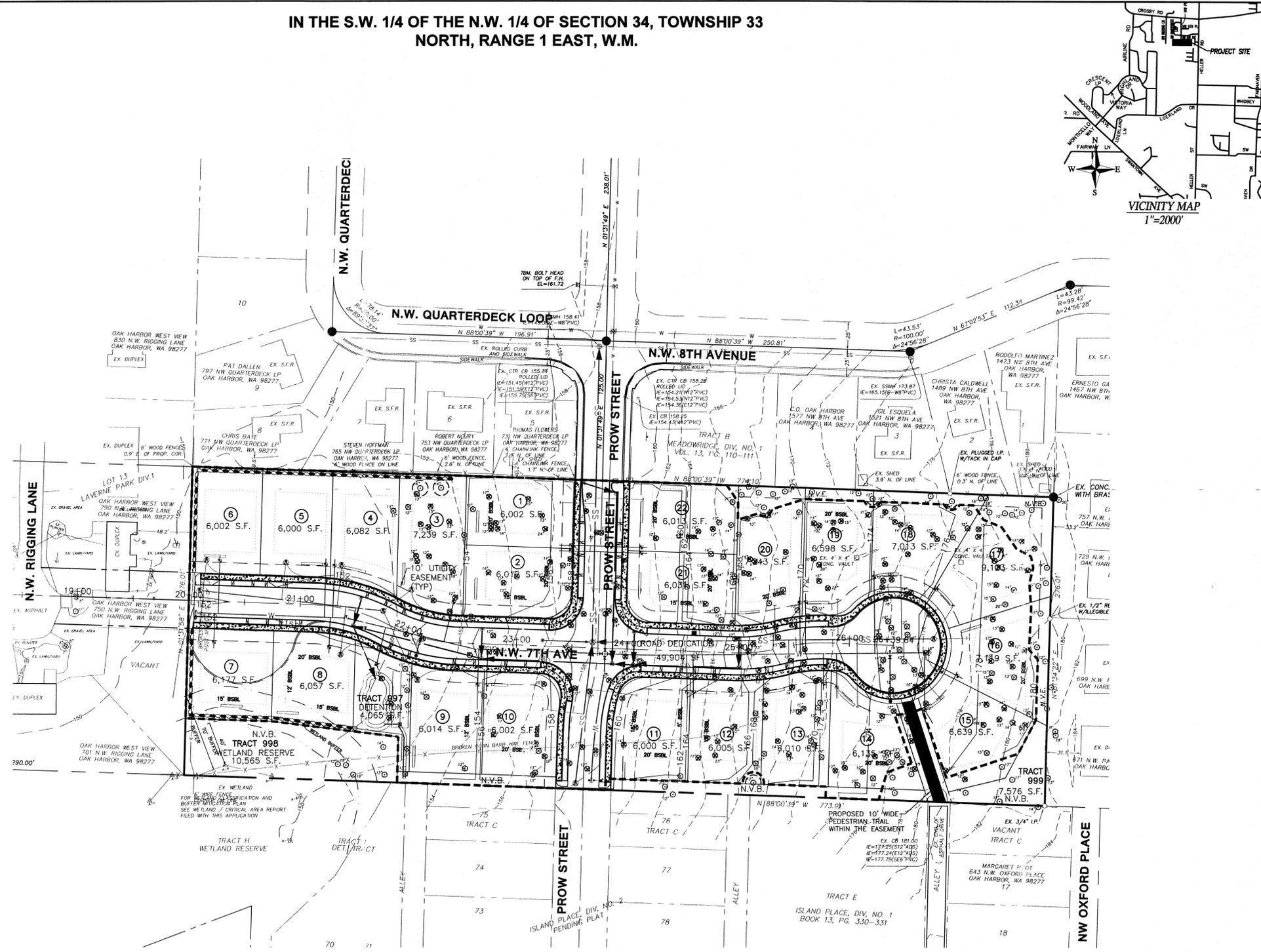
Watering of plants and trees should always be in sufficient amounts to thoroughly soak the root ball of the plant and the surrounding area, thereby promoting deep root growth and drought tolerance.

Whenever possible, automatic irrigation systems should be installed and operation should occur between the hours of 12:00 midnight and 6:00 a.m. Irrigation during these hours helps to reduce fungus growth and loss of water due to evaporation.

If an irrigation system is installed it shall be regularly maintained to eliminate waste of water due to loss of heads, broken pipes, or misjudged nozzles. (Ord. 1615 § 1, 2011; Ord. 1555 § 20, 2009).

Trees within vision clearance triangles (30' of a street intersection and 25' of a driveway) need to be limbed up to 8' above the ground.

IN THE S.W. 1/4 OF THE N.W. 1/4 OF SECTION 34, TOWNSHIP 33 NORTH, RANGE 1 EAST, W.M.



DATE	REVISION	BY



**BECKETT LANDING
LANDSCAPE PLAN**

IMPERVIOUS CALCULATIONS

TOTAL PAVED IMPERVIOUS = 2.2 ACRES
TOTAL LOT SIZE = 4.9 ACRES



RECEIVED
MAR 24 2014
CITY OF OAK HARBOR
Development Services Department

APPLICANT:
SEATTLE PACIFIC DEVELOPMENT, LLC
120 SW EVERETT MALL WAY, SUITE #100
EVERETT, WA 98204
CONTACT: NATE PERKL

DATE:
DECEMBER 4, 2012
ODG JOB NO.: 12-013
DRAWN BY: KL
CHECKED BY: KL

LANDSCAPE PLAN

SHEET
L-1
OF 6

IN THE S.W. 1/4 OF THE N.W. 1/4 OF SECTION 34, TOWNSHIP 33
NORTH, RANGE 1 EAST, W.M.

LANDSCAPE PLANTING SCHEDULE

TREES

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION
	3	Acer circinatum / VINE MAPLE	1 1/2" CAL.	B&B, SPACING AS SHOWN
	35	Tilia cordata / LITTLE LEAF LINDEN	2" CAL.	B&B, 30' O.C. BRANCHED @ 6' HT.
	3	Chamaecyparis nootkatensis 'Pendula' / WEEPING ALASKA CEDAR	8' HT.	B&B, SPACING AS SHOWN
	3	Pseudotsuga menziesii / DOUGLAS FIR	8' HT.	B&B, SPACING AS SHOWN

SHRUBS

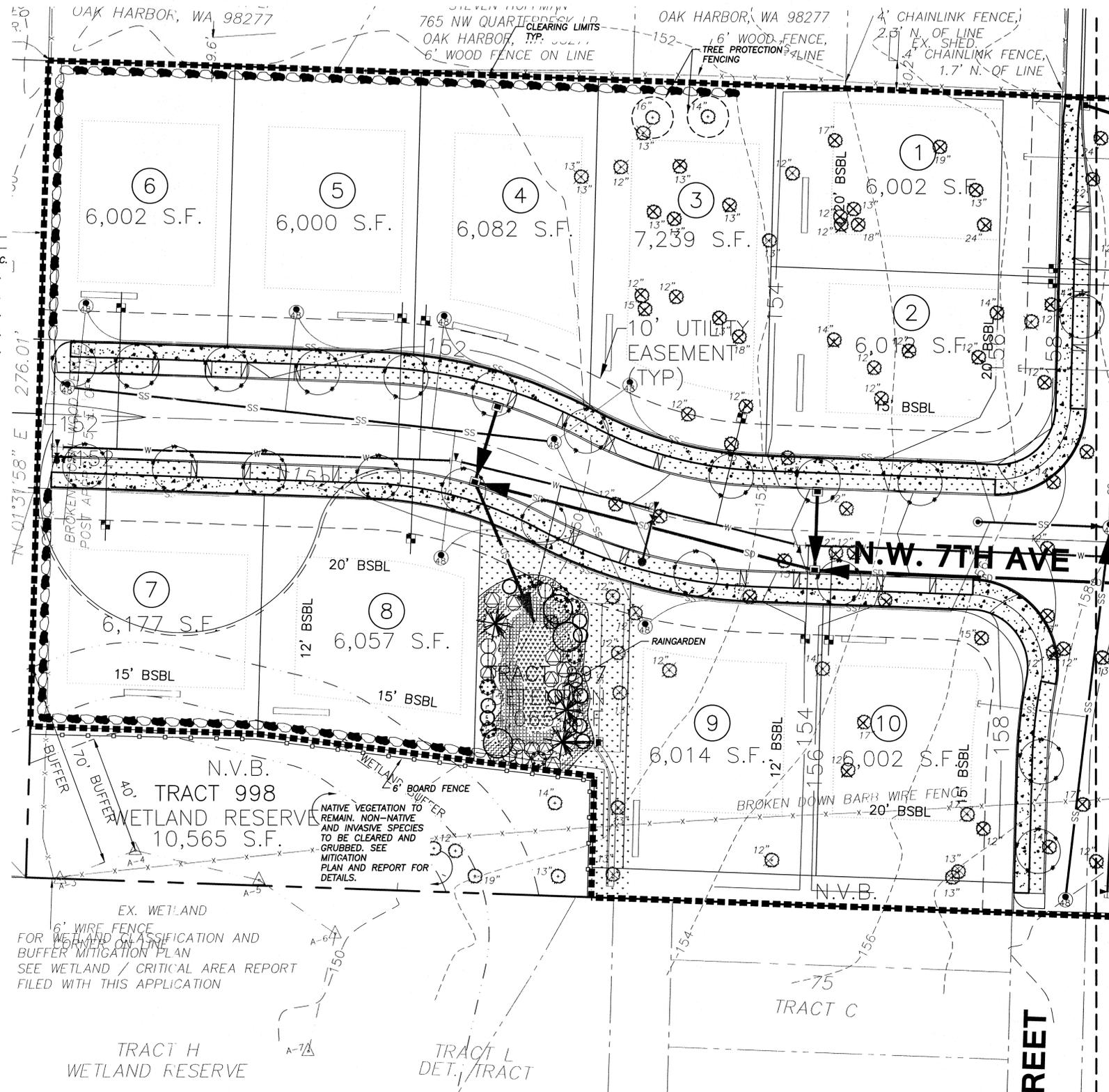
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION
	77	Carex obnupta / SLOUGH SEDGE	1 GAL. MIN.	CON. GRWN., 24" O.C.
	10	Cornus stolonifera 'Bud's Yellow' / YELLOW TWIG DOGWOOD	18" MIN. HT.	CON. GRWN., 5' O.C.
	60	Lupinus microcarpus / RIPARIAN LUPINE	1 GAL. MIN.	CON. GRWN., 3' O.C.
	6	Physocarpus opulifolius 'Little Devil' / DWARF NINEBARK	18" MIN. HT.	CON. GRWN., 5' O.C.
	7	Ribes sanguinum / RED FLOWERING CURRANT	18" MIN. HT.	CON. GRWN., 5' O.C.
	10	Symphoricarpus albus / SNOWBERRY	18" MIN. HT.	CON. GRWN., 5' O.C.

GROUND COVER

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	CONDITION
	112	Mahonia aquifolium / TALL OREGON GRAPE	1 GAL.	CON. GRWN., 24" O.C.
	6,835 SF	HYDROSEED LAWN		

NATIVE VEGETATION AREA TREE CALCULATIONS

TRACT 997: SEE MITIGATION PLANS FOR TREE AVERAGE PER SQUARE FOOT.
TRACT 999 1,978 SF: 1 TREE PER 495 SQUARE FOOT.
TRACT 999 15,559 SF: 1 TREE PER 519 SQUARE FOOT.



BY	REVISION	DATE

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DESIGN GROUP
ORIGIN@GMAIL.COM
425.346.1905

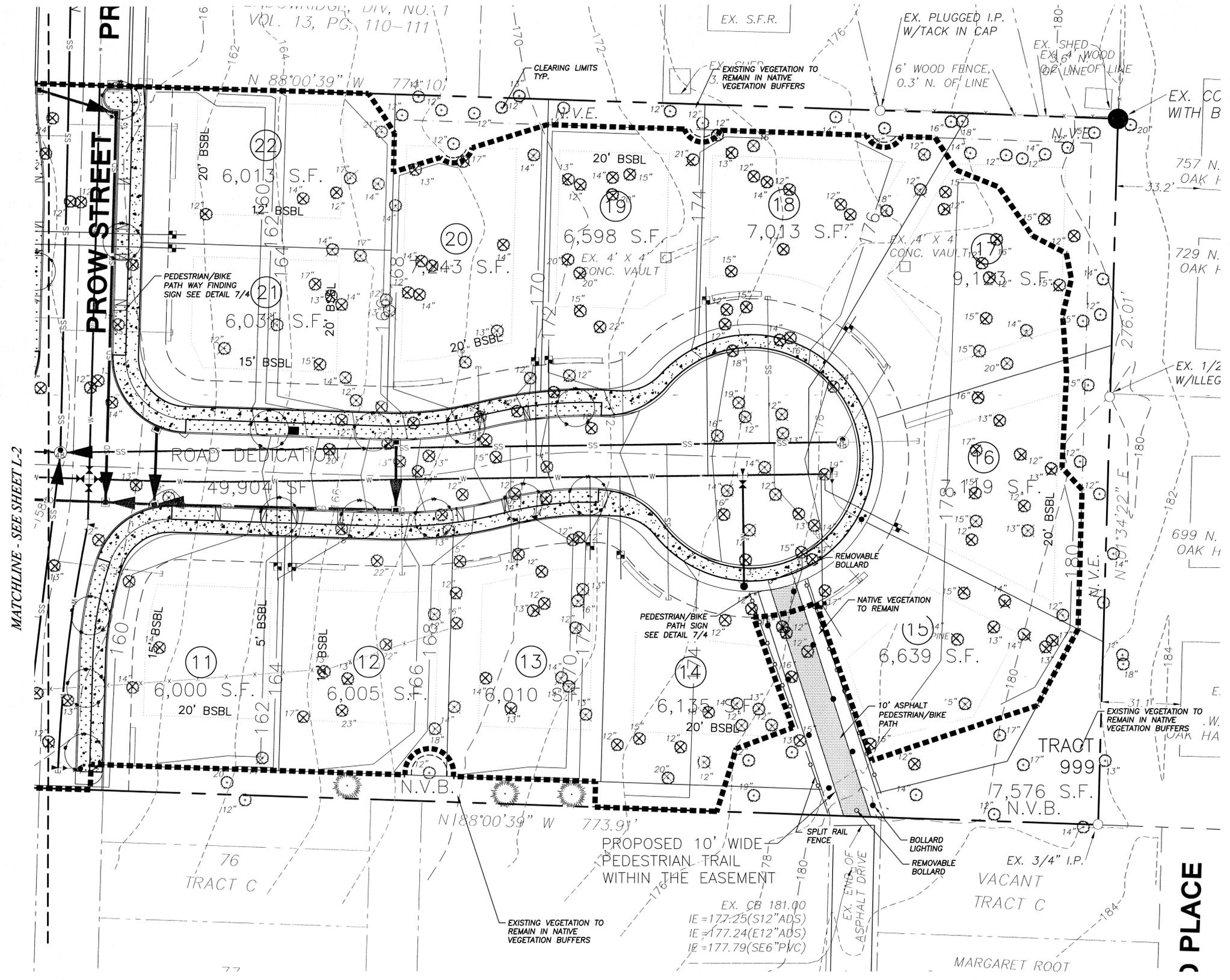
STATE OF WASHINGTON
LICENSED
LANDSCAPE ARCHITECT
Krystal Lowe
KRISTAL LOWE
LICENCE NO. 1206
EXPIRES ON FEB 27 2015

BECKETT LANDING
LANDSCAPE PLAN
RECEIVED
MAR 24 2014
CITY OF OAK HARBOR
Development Services Department

APPLICANT:
SEATTLE PACIFIC DEVELOPMENT, LLC
120 SW EVERETT MALL WAY, SUITE #100
EVERETT, WA 98204
CONTACT: NATE PERKL
DATE:
DECEMBER 4, 2012
ODG JOB NO.: 12-013
DRAWN BY: KL
CHECKED BY: KL

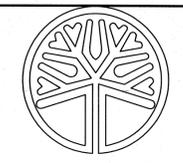
LANDSCAPE PLAN
SHEET
L-2
OF 6

IN THE S.W. 1/4 OF THE N.W. 1/4 OF SECTION 34, TOWNSHIP 33
NORTH, RANGE 1 EAST, W.M.



MATCHLINE - SEE SHEET L-2

DATE	REVISION	BY



BECKETT LANDING
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Development Services Department

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120 SW EVERETT MALL WAY, SUITE #100
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DATE:
DECEMBER 4, 2012

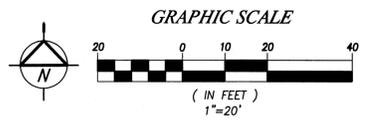
ODG JOB NO.: 12-013

DRAWN BY: KL

CHECKED BY: KL

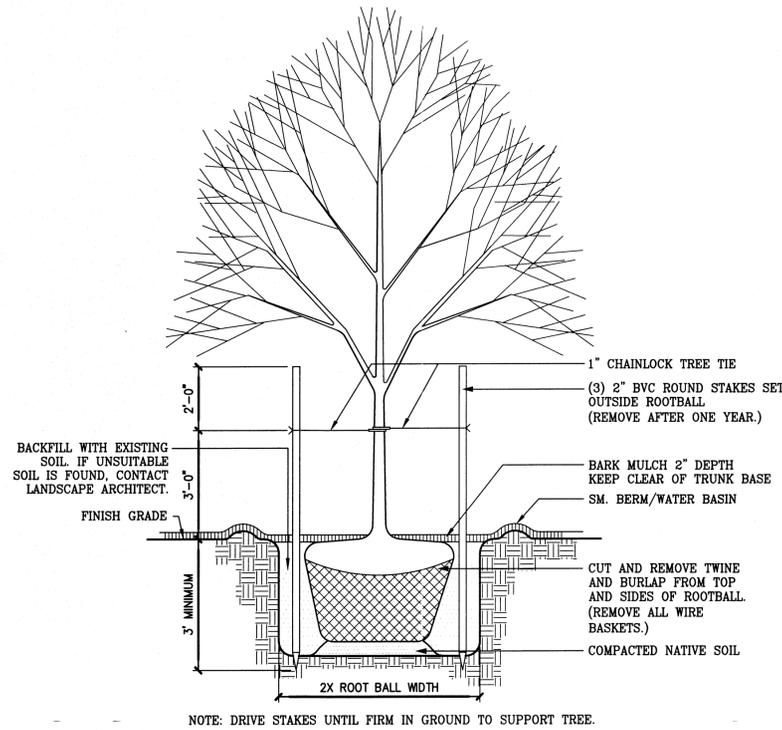
LANDSCAPE PLAN

SHEET
L-3
OF 6

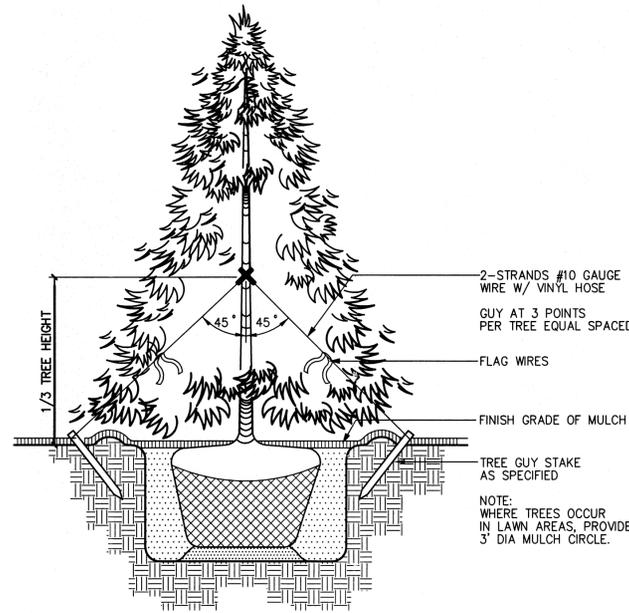


SECTION 16, TOWNSHIP 27 N, RANGE 5 E, W.M.

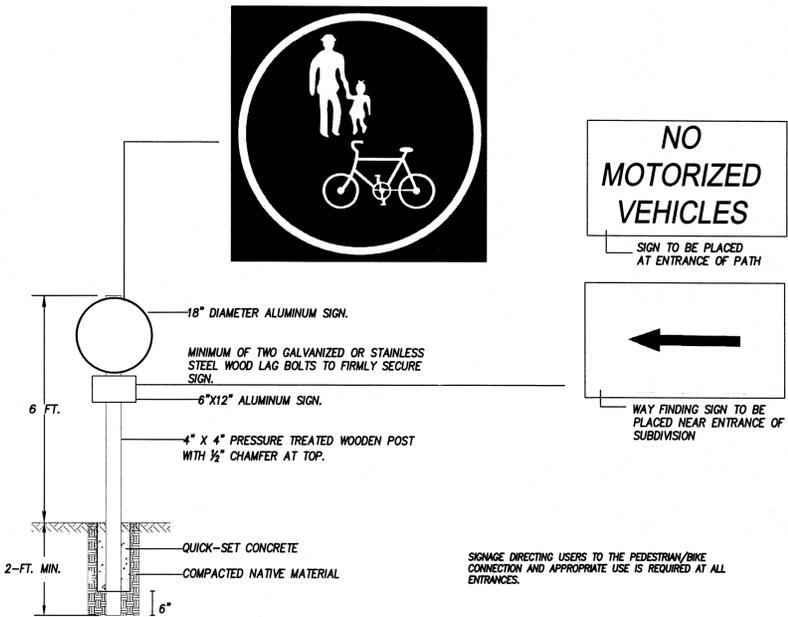
SNOHOMISH COUNTY, WA



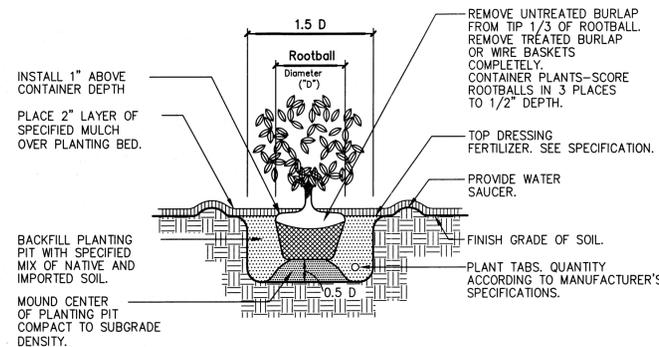
1 TREE STAKING
4 SCALE: NTS



2 TREE GUYING
4 SCALE: NTS

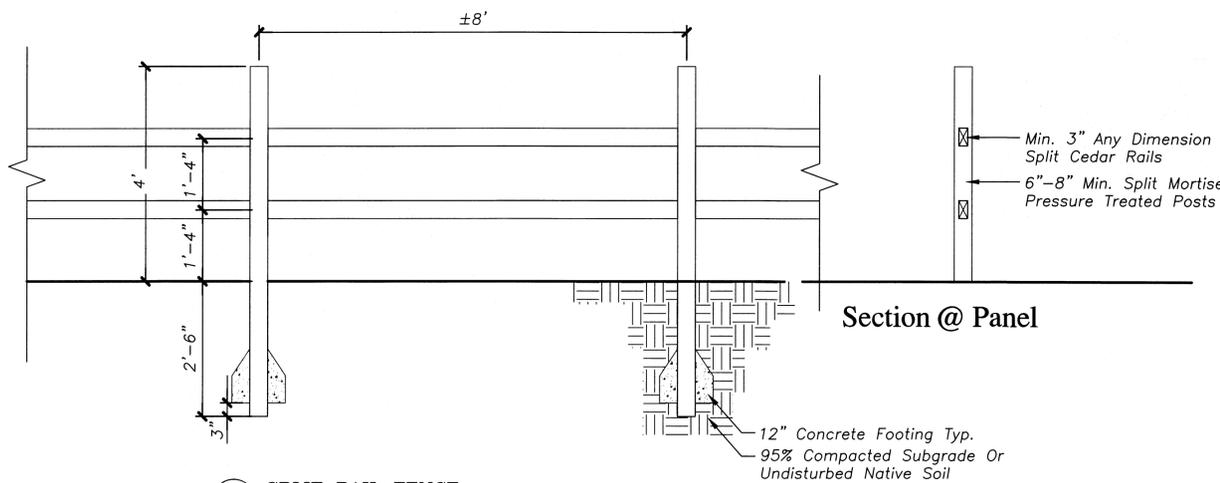


7 PEDESTRIAN/BIKE PATH SIGNAGE
4 SCALE: NTS

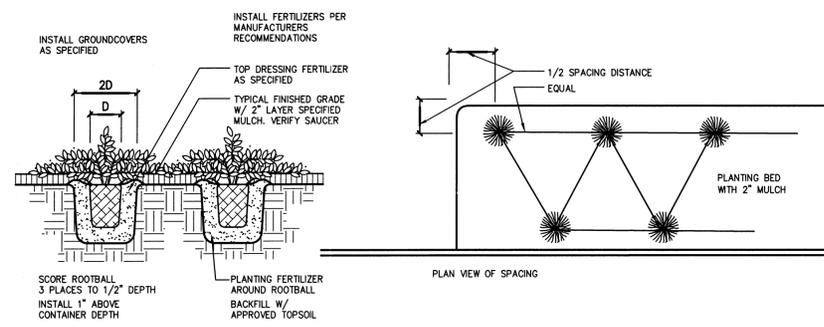


NOTE: DETAIL APPLIES TO TREES, SHRUBS AND GROUNDCOVER PLANTINGS.

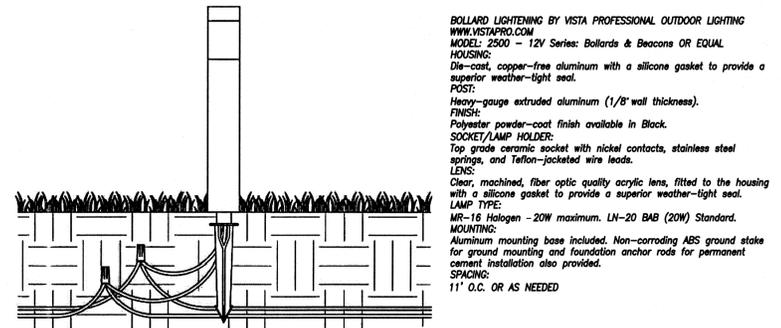
3 SHRUB PLANTING
4 SCALE: NTS



4 SPLIT RAIL FENCE
4 SCALE: NTS



5 GROUNDCOVER PLANTING
4 SCALE: NTS



6 BOLLARD LIGHTING
4 SCALE: NTS

BY	REVISION	DATE



STATE OF WASHINGTON LICENSED LANDSCAPE ARCHITECT
Krystal Lowe
KRISTAL LOWE
LICENSE NO. 1206
EXPIRES ON FEB 27 2015

VILLAGE AT BROOKSHIRE SFDU
LANDSCAPE PLAN

RECEIVED
MAR 24 2014
CITY OF OAK HARBOR
Development Services Department

APPLICANT: SEATTLE PACIFIC DEVELOPMENT, LLC
120 SW EVERETT MALL WAY, SUITE #100
EVERETT, WA 98204
CONTACT: NATE PERKL
DATE: NOVEMBER 16, 2012
ODG JOB NO.: 12-012
DRAWN BY: KL
CHECKED BY: KL

LANDSCAPE DETAILS

SHEET
L-4
OF 6

IN THE S.W. 1/4 OF THE N.W. 1/4 OF SECTION 34, TOWNSHIP 33
NORTH, RANGE 1 EAST, W.M.

TREE PROTECTION REQUIREMENTS

CONSTRUCTION/CLEARING LIMITS HAVE BEEN SET THREE FEET BEYOND THE DRIP LINE OF THE TREES AND THAT GRADING/CONSTRUCTION ACTIVITIES WILL NOT DAMAGE THE TREES. IF TREES ARE DAMAGED BY CONSTRUCTION, THEY ARE REQUIRED TO BE REPLANTED. TREES WHICH ARE SUBJECT TO BEING BLOWN OVER FROM WIND ARE TO BE REMOVED AND REPLACED.

ALL VEHICLE TRAFFIC SHALL BE ROUTED AWAY FROM SIGNIFICANT TREES DURING CONSTRUCTION TO AVOID EXCESSIVE SOIL COMPACTION. WHERE VEHICULAR TRAFFIC IS REQUIRED THE SOIL SHALL BE PROTECTED WITH A 10" LAYER OF WOODCHIPS AND/OR PLYWOOD PLACED OVER THE PATH OF THE VEHICLE. THE WOODCHIPS MAY BE REMOVED WHEN NO LONGER NEEDED.

ALL SIGNIFICANT TREES TO BE SAVED AND/OR RETAINED THAT ARE OUTSIDE OF THE CLEARING LIMITS LINE SHALL BE PROTECTED WITH A 5' HIGH CHAINLINK OR PLASTIC NET FENCING PLACED 5' BEYOND TREE DRIPLINES DURING CONSTRUCTION. THE FENCING SHALL NOT BE REMOVED WITHOUT THE AUTHORIZATION OF THE CONSULTING ARBORIST OR SITE SUPERVISOR.

TRENCHING WITHIN TREE DRIPLINES SHALL BE AVOIDED. TUNNELING AROUND PRIMARY TREE ROOTS IS PERMITTED WHEN DISTURBANCE WITHIN DRIPLINES IS NECESSARY.

STUMP PULLING OF ALL TREES TO BE REMOVED IN THE VICINITY OF SIGNIFICANT TREES TO BE RETAINED SHALL BE AVOIDED. STUMP GRINDING IS PERMITTED AS NECESSARY.

IT MAY BE NECESSARY TO PROVIDE SUPPLEMENTAL IRRIGATION DURING DRY PERIODS WITHIN THE CONSTRUCTION PROCESS, AND MULCHING OVER THE ROOTS OF ANY OR ALL PRESERVED TREES.

TREE SPECIES AND HEALTH

THE SIGNIFICANT TREES ON-SITE ARE A MIXTURE OF DOUGLAS FIR, WESTERN RED CEDAR AND WESTERN HEMLOCK.

THE SIGNIFICANT TREES TO BE RETAINED ARE ALL IN GOOD HEALTH.

TREE RETENTION CALCULATION PER OHMC 19.46.140

EXISTING ON-SITE SIGNIFICANT TREES= 306

EXISTING OFF-SITE SIGNIFICANT TREES= 8

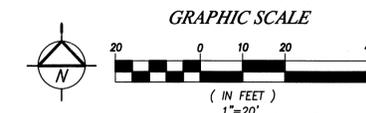
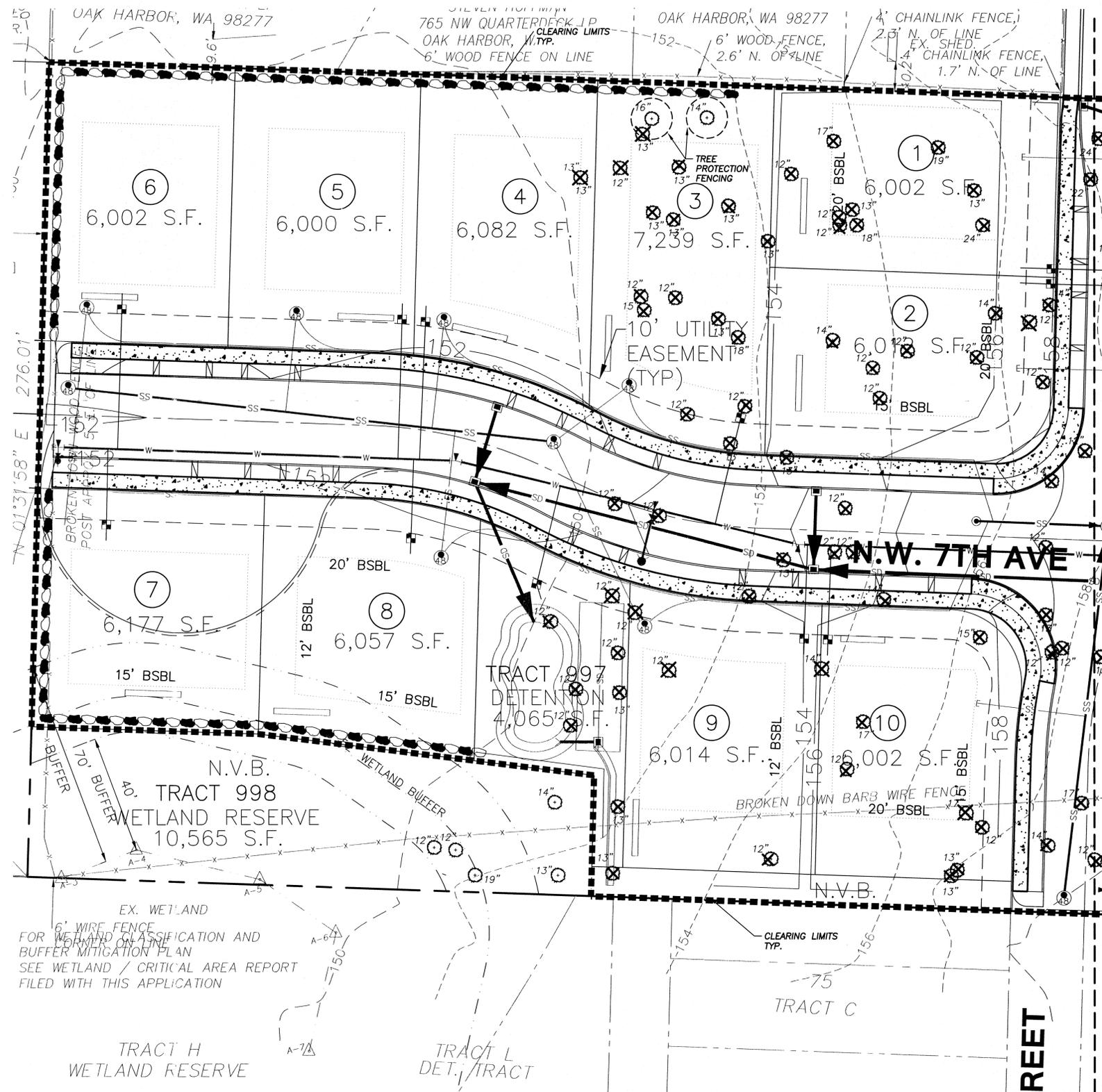
15% OF EXISTING ON-SITE SIGNIFICANT TREES REQUIRED TO BE RETAINED= 46 (306 X .15= 45.9)

SIGNIFICANT ON-SITE TREES TO BE RETAINED = 46

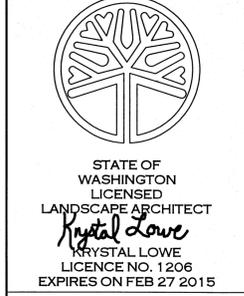
SIGNIFICANT ON-SITE TREES TO BE REMOVED = 260

LEGEND

- EXISTING SIGNIFICANT TREE TO BE RETAINED
12" (DIAMETER AT BREAST HEIGHT)
- ⊗ EXISTING SIGNIFICANT TREE TO BE REMOVED
12"



REVISION	DATE	BY



BECKETT LANDING
LANDSCAPE PLAN

RECEIVED
MAR 24 2014
CITY OF OAK HARBOR
Development Services Department

APPLICANT:
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120 SW EVERETT MALL WAY, SUITE #100
EVERETT, WA 98204
CONTACT: NATE PERKL

DATE:
DECEMBER 4, 2012

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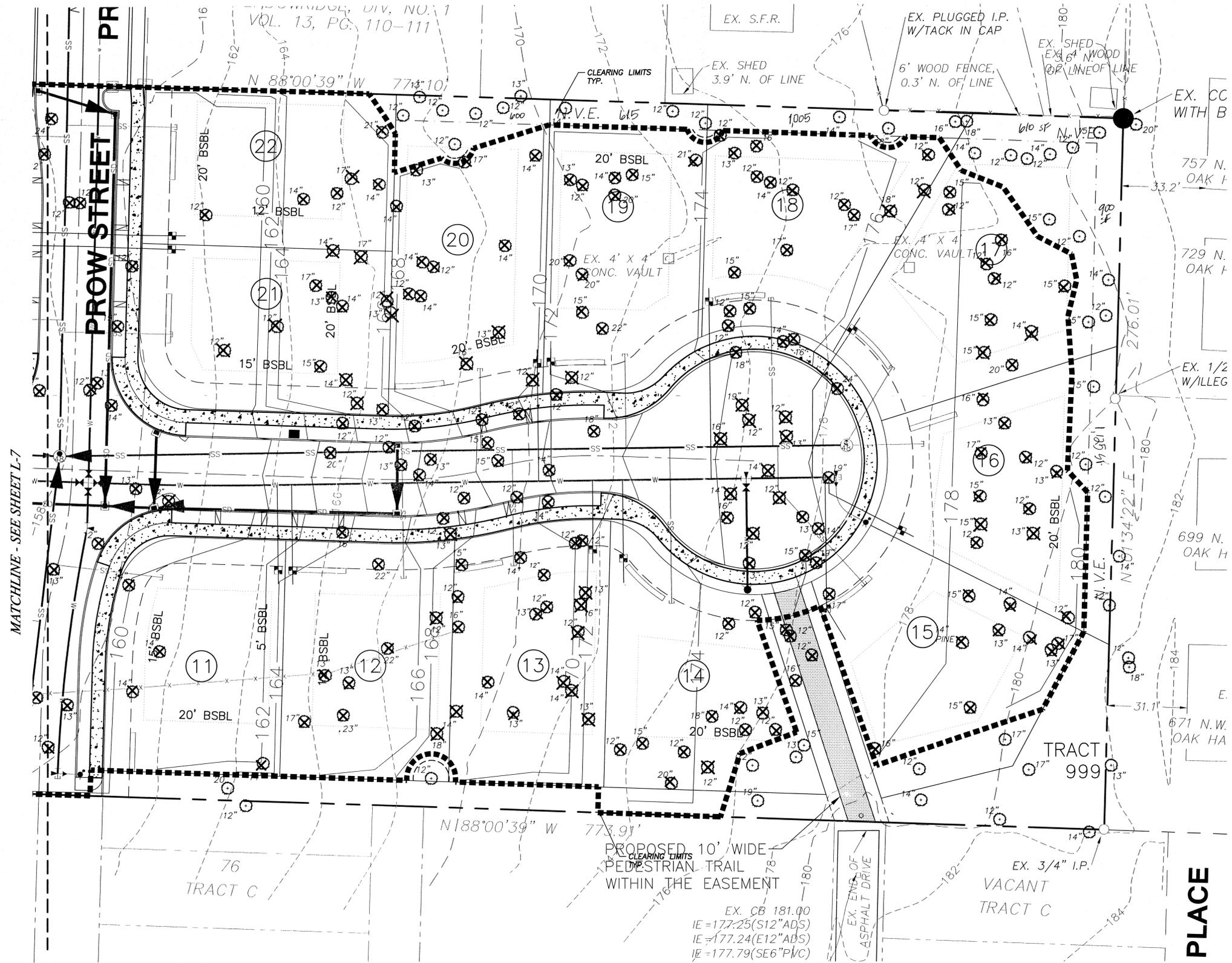
DRAWN BY: KL

CHECKED BY: KL

TREE RETENTION
PLAN

SHEET
L-5
OF 6

IN THE S.W. 1/4 OF THE N.W. 1/4 OF SECTION 34, TOWNSHIP 33
NORTH, RANGE 1 EAST, W.M.



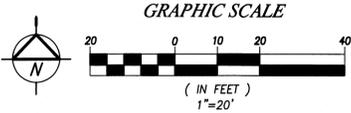
MATCHLINE - SEE SHEET L-7

PROW STREET

PLACE

PROPOSED 10' WIDE
PEDESTRIAN TRAIL
WITHIN THE EASEMENT

EX. CB 181.00
IE=177.25(S12"ADS)
IE=177.24(E12"ADS)
IE=177.79(SE6"PVC)



RECEIVED
MAR 24 2014
CITY OF OAK HARBOR
Development Services Department

BY	REVISION	DATE



ORIGIN
DESIGN GROUP
ORIGINDG@GMAIL.COM
425.346.1905



STATE OF WASHINGTON
LICENSED
LANDSCAPE ARCHITECT
Kristal Lowe
KRISTAL LOWE
LICENCE NO. 1206
EXPIRES ON FEB 27 2015

**BECKETT LANDING
LANDSCAPE PLAN**

APPLICANT:
SEATTLE PACIFIC DEVELOPMENT, LLC
120 SW EVERETT MALL WAY, SUITE #100
EVERETT, WA 98204
CONTACT: NATE PERKL

DATE:
DECEMBER 4, 2012
ODG JOB NO.: 12-013
DRAWN BY: KL
CHECKED BY: KL

**TREE RETENTION
PLAN**

SHEET
L-6
OF 6

IN THE SW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 33 N., RGE. 1 E., W.M.
CITY OF OAK HARBOR, WASHINGTON

BECKETT LANDING PRELIMINARY SITE/UTILITIES PLAN

MARCH 19, 2014

Prepared By:

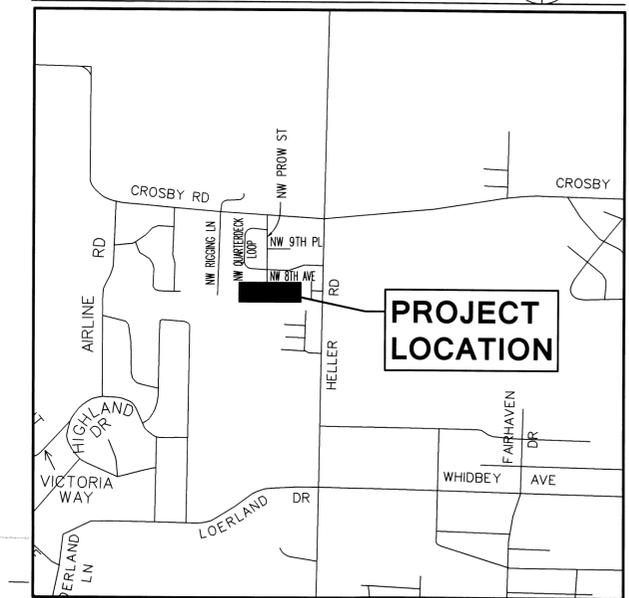


Civil Engineering
Project Management
Planning

1724 W. Marine View Drive, Suite 140; Everett, Washington 98201

Office: 425.486.6533 Fax: 425.486.6593 www.sdaengineers.com

VICINITY MAP



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TRAFFIC
GIBSON TRAFFIC CONSULTANTS
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EVERETT, WA. 98201
EDWARD KOLTONOWSKI
(425) 339-8266
edwardk@gibsontraffic.com

CERTIFIED EROSION CONTROL SPECIALIST
SITE DEVELOPMENT ASSOCIATES
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EVERETT, WA. 98201
BILL HELSLEY, PE CECL
(425) 486-6533 ex. 101
bhelsly@sdaengineers.com

APPLICANT/OWNER
SEATTLE PACIFIC DEVELOPMENT, INC.
120 SW EVERETT MALL WAY STE 100
EVERETT, WA. 98204
ATTN: NATE PERKL
(425) 953-2800
nateperkl@seattlepacifichomes.com

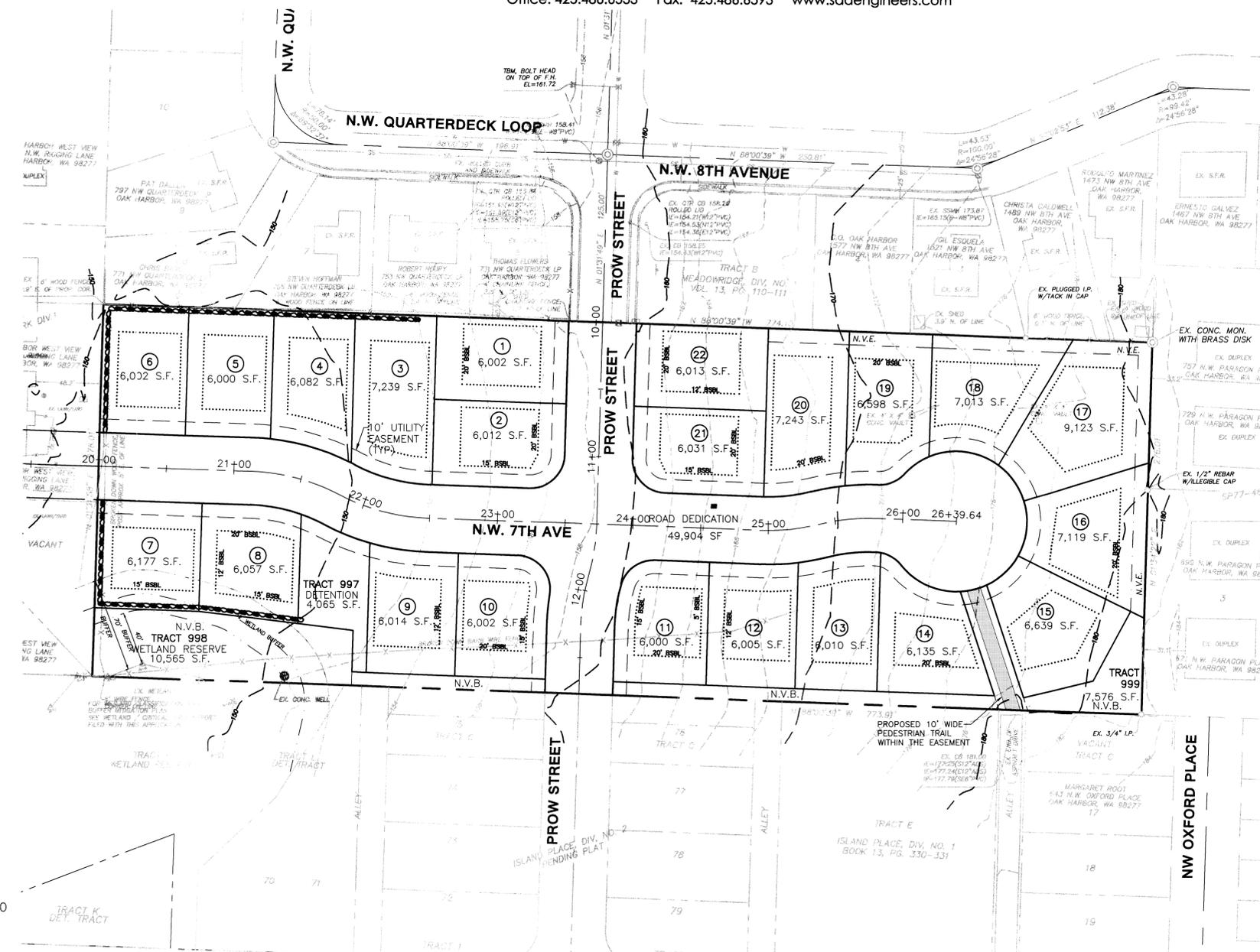
SURVEYOR
ORCA LAND SURVEYING
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EVERETT, WA. 98201
RICHARD HEALEY, P.L.S.
(425) 258-4438
rich@orcalsi.com

WETLAND BIOLOGIST

GEOTECHNICAL ENGINEER
MATERIALS TESTING & CONSULTING, INC. (MTC)
777 CHRYSLER DRIVE
BURLINGTON, WA. 98233
LANCE LEVINE, P.E.
(360) 755-1990
FAX (360) 755-1980

PLANNER
LAND RESOLUTIONS
3605 COLBY AVENUE
EVERETT, WA. 98201
RY MCDUFFY
(425) 258-4438
ry@orcalsi.com

LANDSCAPE ARCHITECT
ORIGIN DESIGN GROUP
8011 4TH PL NE
LAKE STEVENS, WA. 98258
(425) 346-1905
CONTACT: KRISTAL LOWE
origindg@gmail.com



SHEET INDEX		
SHEET NO.		TITLE
C1.0	1	COVER SHEET
C2.0	2	ROAD AND UTILITY PLAN
C3.0	3	ROAD AND DRAINAGE PROFILE
L1	4	LANDSCAPE PLAN
L2	5	LANDSCAPE PLAN
L3	6	LANDSCAPE PLAN
L4	7	LANDSCAPE DETAILS
L5	8	LANDSCAPE PLAN
L6	9	IRRIGATION PLAN
L7	10	TREE RETENTION PLAN
L8	11	LANDSCAPE PLAN

BASIS OF BEARING
MEADOWRIDGE, DIV. NO. 1, VOL. 13, PG. 110-111

LEGAL DESCRIPTION
THAT PORTION OF THE SOUTH 276 FEET OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 33 NORTH, RANGE 1 EAST OF THE W.M., AS MEASURED PARALLEL TO THE SOUTH LINE OF THE FOLLOWING DESCRIBED TRACT;

THE WEST 773.95 FEET OF THE EAST 1033.95 FEET AS MEASURED FROM THE CENTER OF HELLER ROAD IN THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 33 NORTH, RANGE 1 EAST OF THE W.M., LYING SOUTH OF CROSBY ROAD.

SITUATE IN ISLAND COUNTY, WASHINGTON.

BENCHMARK
CITY OF OAK HARBOR DATUM
WGS SURVEY CONTROL DATA ID#SLUG,
ELEV=135.52

NOTE

- CONVERSION TO WASHINGTON COORDINATE SYSTEMS, NORTH ZONE (NAD 83/91), A ROTATION OF (00°01'27") TO THE SOUTH LINE AS CALLED OUT AS N 88°00'39" W TO ACHIEVE A BEARING OF N 88°02'06" E AS SHOWN ON THE NORTH LINE OF THE PLAT OS ISLAND PLACE DIV. NO. 1 COL. 13, PG. 330-331.
- BENCHMARK: WGS SURVEY CONTROL DATA ID#SLUG, ELEV=135.52.

GRADING QUANTITIES:
CUT: 4,500 CY
FILL: 5,000 CY
NET: 500 CY (CUT)

TAX PARCELS
R13334R277R0660

SITE ADDRESS
XXXX NW PROW ST
OAK HARBOR, WA 98277

VERTICAL DATUM:
NAVD 88
NAVD 88 - 3.28' = NGVD 1929

TBM
BOLT HEAD ON TOP OF F.H., LOCATED IN THE NW INTERSECTION CORNER OF 925 AVE W. & 160TH NW STREET, EL=161.72

ZONING RECEIVED
EXISTING: R2
MAR 24 2014
CITY OF OAK HARBOR
Development Services Department

ORCA Land Surveying
3605 COLBY AVENUE, EVERETT, WA. 98201
425-259-3400 FAX 425-256-1616

Call 2 Working Days Before You Dig
1-800-424-5555
Utilities Undermount Location Center
(ID,MT,ND,OR,WA)

<p>REVISIONS</p> <table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td>4</td> <td>FOURTH SUBMITTAL</td> <td>03/19/14</td> </tr> <tr> <td>3</td> <td>THIRD SUBMITTAL</td> <td>06/24/13</td> </tr> <tr> <td>2</td> <td>SECOND SUBMITTAL</td> <td>02/18/13</td> </tr> <tr> <td>1</td> <td>FIRST SUBMITTAL</td> <td>12/11/12</td> </tr> </table>	No.	Description	Date	4	FOURTH SUBMITTAL	03/19/14	3	THIRD SUBMITTAL	06/24/13	2	SECOND SUBMITTAL	02/18/13	1	FIRST SUBMITTAL	12/11/12	<p>Drawn By ACR</p> <p>Designed By ACR</p> <p>Checked By ACR</p> <p>Approved By ACR</p> <p>06/24/13</p>	<p>1"=50' Horiz. Scale</p> <p>287'-00" Vert. Scale</p> <p>287'-00"-12</p>	
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<p>Civil Engineering Project Management Planning</p>																		
<p>1724 W. Marine View Drive, Suite 140; Everett, Washington 98201 Office: 425.486.6533 Fax: 425.486.6593 www.sdaengineers.com</p>																		
<p>POINT OF CONTACT NATE PERKL</p>																		

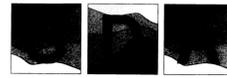
Mar. 20, 2014 - 10:39AM Last Saved By: SRece

IN THE SW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 33 N., RGE. 1 E., W.M.
CITY OF OAK HARBOR, WASHINGTON

BECKETT LANDING PRELIMINARY SITE/UTILITIES PLAN

MARCH 19, 2014

Prepared By:



Civil Engineering
Project Management
Planning

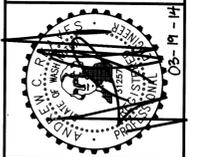
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REVISIONS	
No.	Description
4	FOURTH SUBMITTAL
3	THIRD SUBMITTAL
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1	FIRST SUBMITTAL

SJR	Drawn By	Designed By	Checked By	Approved By	Date
ACR	ACR	ACR	ACR	02/24/13	

1"=50'	Horiz. Scale	Vert. Scale	Project No.
		287-007-12	



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Development Services Department

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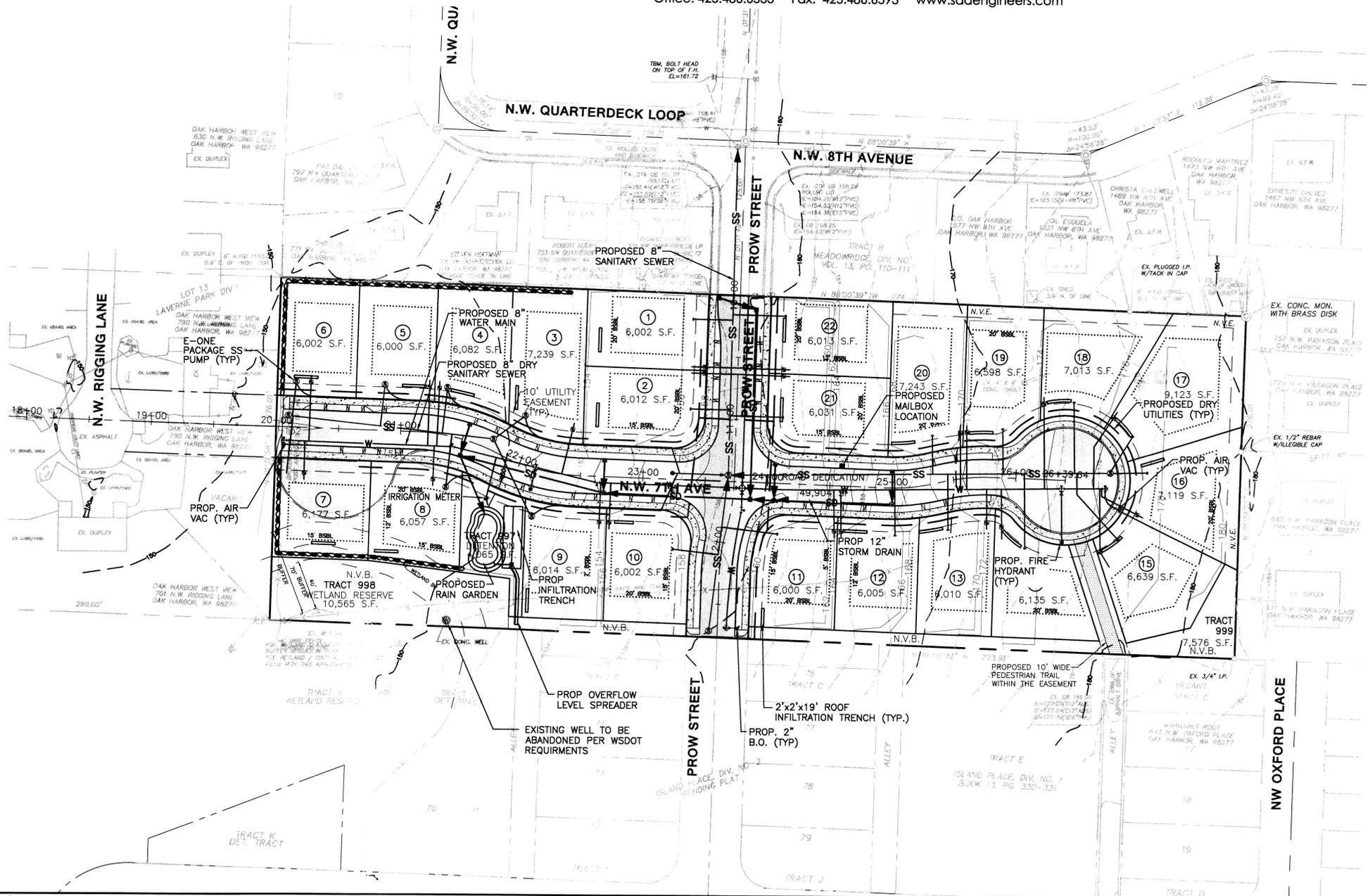
CLIENT
SEATTLE PACIFIC DEVELOPMENT, LLC
120 SW EVERETT MALL WAY STE #100
EVERETT, WA, 98204
(425) 953-2800

POINT OF CONTACT
NATE PERKL

BECKETT LANDING
PRELIMINARY SITE/UTILITIES PLAN

SITE PLAN

C1.0



BASIS OF BEARING
MEADOWRIDGE, DIV. NO. 1, VOL. 13, PG. 110-111

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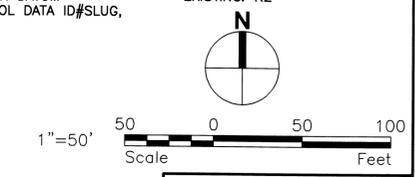
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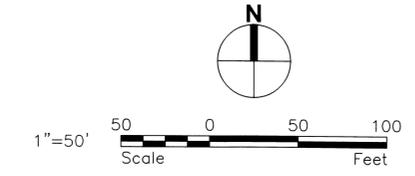


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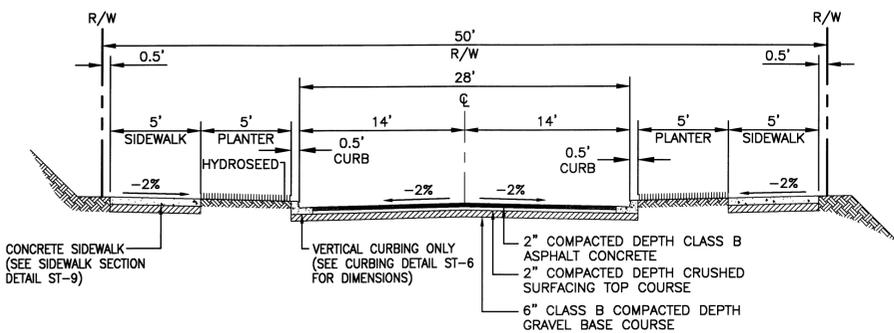
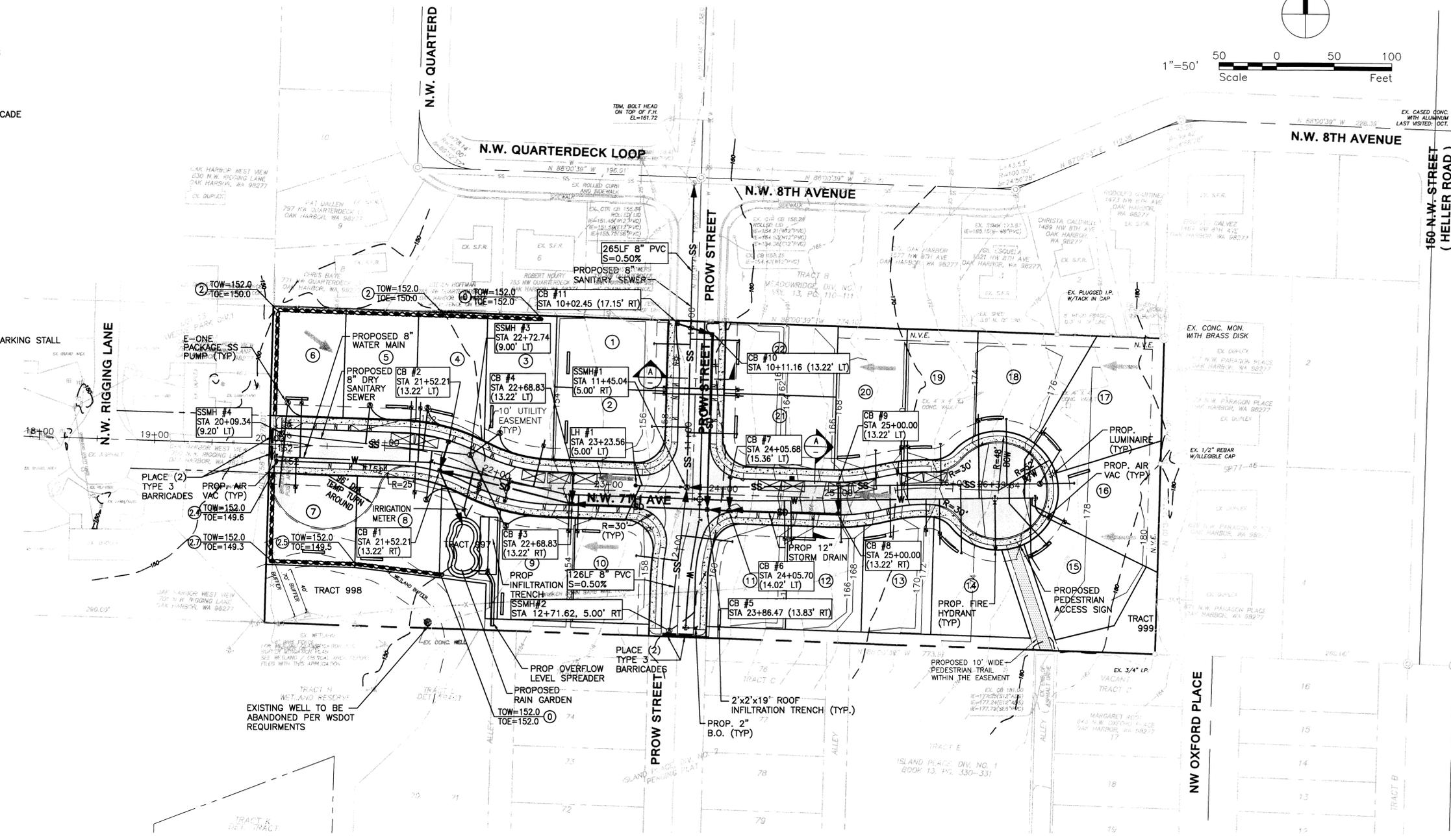
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IN THE SW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 33 N., RGE. 1 E., W.M.
CITY OF OAK HARBOR, WASHINGTON



- LEGEND:**
- ① PROPOSED LOT
 - SD PIPE CONVEYANCE
 - ← PROPOSED FLOW PATH
 - ▣ PROPOSED CATCH BASINS
 - ▼ PROPOSED FIRE HYDRANT
 - * PROPOSED LUMINAIRE
 - PROPOSED TYPE 3 BARRICADE
 - LOTLINE
 - SETBACK LINE
 - PROPERTY LINE
 - CONTOUR (PROPOSED)
 - CONTOUR (EXISTING)
 - CONTOUR (EXISTING)
 - ASPHALT PAVEMENT
 - CONCRETE
 - (11) PROPOSED 9'x20' PARKING STALL



TYPICAL PUBLIC ROADWAY SECTION
PUBLIC ROAD
RESIDENTIAL DESIGN SPEED = 25 MPH
N.T.S.

- NOTE:**
1. ALL STORM IN R/W 12"
 2. ALL WATER PIPE IN R/W TO BE 8" DI
 3. ALL SEWER PIPE IN R/W TO BE 8" PVC

REVISIONS

No.	Description	Date
1	FIRST SUBMITTAL	12/17/12
2	SECOND SUBMITTAL	02/19/13
3	THIRD SUBMITTAL	06/24/13
4	FOURTH SUBMITTAL	03/19/14

SJR	Drawn By	Scale	1"=50'	Horiz. Scale	Vert. Scale	Project No.	287-007-12	Date
Drawn By	ACR	Scale	1"=50'	Horiz. Scale	Vert. Scale	Project No.	287-007-12	Date
Designed By	ACR	Scale	1"=50'	Horiz. Scale	Vert. Scale	Project No.	287-007-12	Date
Checked By	ACR	Scale	1"=50'	Horiz. Scale	Vert. Scale	Project No.	287-007-12	Date
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Civil Engineering
Project Management
Planning

1724 W. Marine View Drive, Suite 140, Everett, Washington 98201
Office: 425-486-6533 Fax: 425-486-6593 www.sdcengineers.com

CLIENT
SEATTLE PACIFIC DEVELOPMENT, LLC
120 SW EVERETT WALL WAY STE#100
EVERETT, WA. 98204
(425) 953-2800

POINT OF CONTACT
NATE PERK

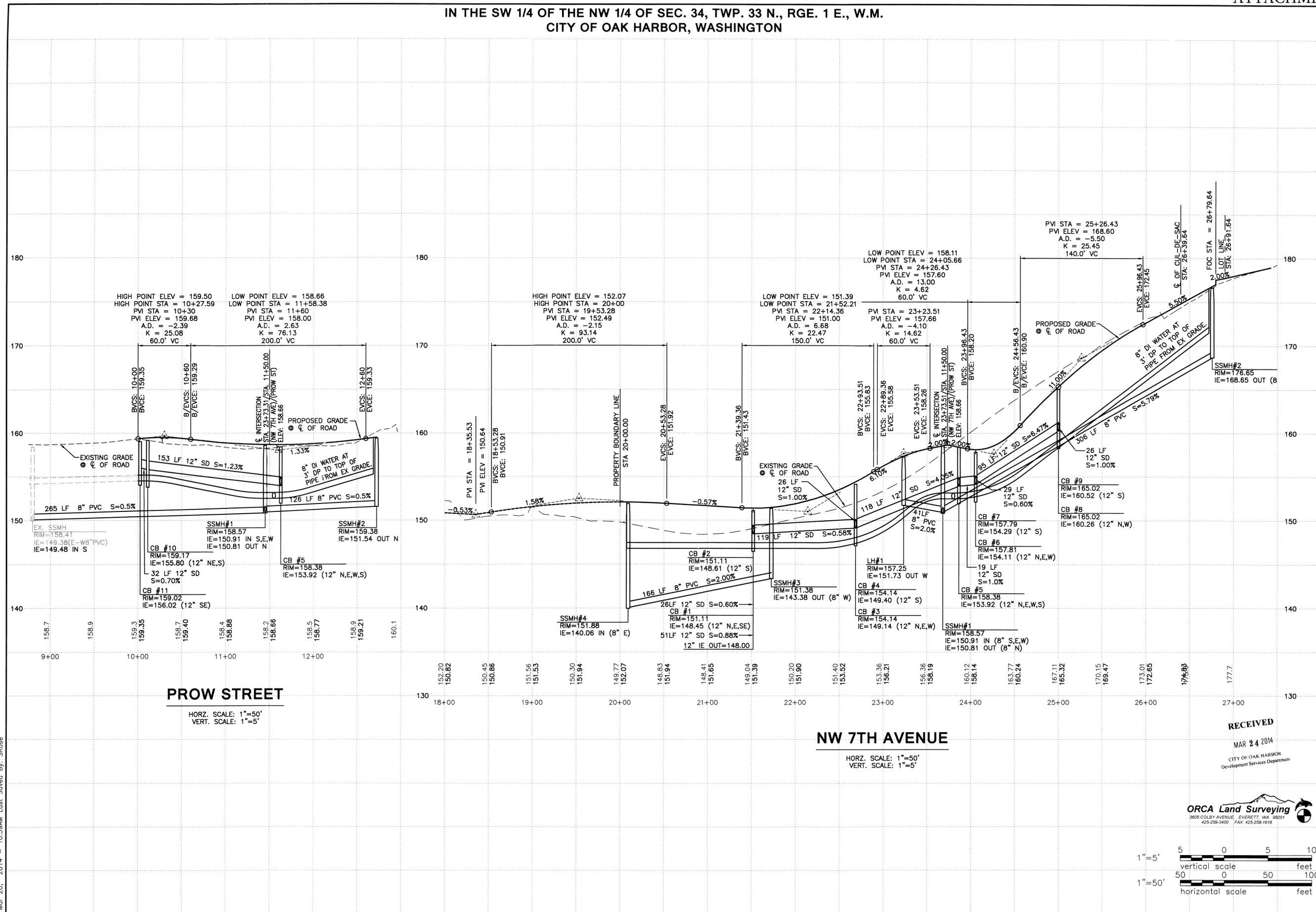
**BECKETT LANDING
PRELIMINARY SITE UTILITIES PLAN
ROAD AND UTILITY PLAN**

C2.0

RECEIVED
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Development Services Department

ORCA Land Surveying
3605 COLBY AVENUE, EVERETT, WA 98201
425-259-3400 FAX: 425-258-1616

IN THE SW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 33 N., RGE. 1 E., W.M.
CITY OF OAK HARBOR, WASHINGTON



REVISIONS	
No.	Description
4	FOURTH SUBMITTAL
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S/JR	Drawn By	Checked By	Designed By	Project No.	Date
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ACR	ACR	ACR	ACR	287-007-12	02/19/13
ACR	ACR	ACR	ACR	287-007-12	02/17/12

1"=50' Horiz. Scale
 2"=1' Vert. Scale

FOCUS: 26+79.64
 LOT LINE STA: 26+19.64
 Q. OF CUL-DE-SAC STA: 26+39.64

PROPOSED GRADE @ C OF ROAD

8" DI WATER AT 3' DP TO TOP OF PIPE FROM EX GRADE

SSMH#2 RIM=176.65 IE=168.65 OUT (8")

CB #9 RIM=165.02 IE=160.52 (12" S)

CB #8 RIM=165.02 IE=160.26 (12" N,W)

CB #7 RIM=157.79 IE=154.29 (12" S)

CB #6 RIM=157.81 IE=154.11 (12" N,E,W)

CB #5 RIM=158.38 IE=153.92 (12" N,E,W,S)

CB #4 RIM=154.14 IE=149.40 (12" S)

CB #3 RIM=154.14 IE=149.14 (12" N,E,W)

SSMH#1 RIM=158.57 IE=150.91 IN (8" S,E,W) IE=150.81 OUT (8" N)

SSMH#2 RIM=159.38 IE=151.54 OUT N

SSMH#3 RIM=151.38 IE=143.38 OUT (8" W)

SSMH#4 RIM=151.88 IE=140.06 IN (8" E)

CB #10 RIM=159.17 IE=155.80 (12" N,E,S)

CB #11 RIM=159.02 IE=156.02 (12" SE)

CB #5 RIM=158.38 IE=153.92 (12" N,E,W,S)

CB #2 RIM=151.11 IE=148.61 (12" S)

CB #1 RIM=151.11 IE=148.45 (12" N,E,SE)

CB #3 RIM=154.14 IE=149.40 (12" S)

CB #4 RIM=154.14 IE=149.14 (12" N,E,W)

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Client: SEATTLE PACIFIC DEVELOPMENT, LLC
 100 SW EVERETT MALL WAY STE #100
 EVERETT, WA 98204
 (425) 953-2800

POINT OF CONTACT: NATE PERKL

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 Development Services Department

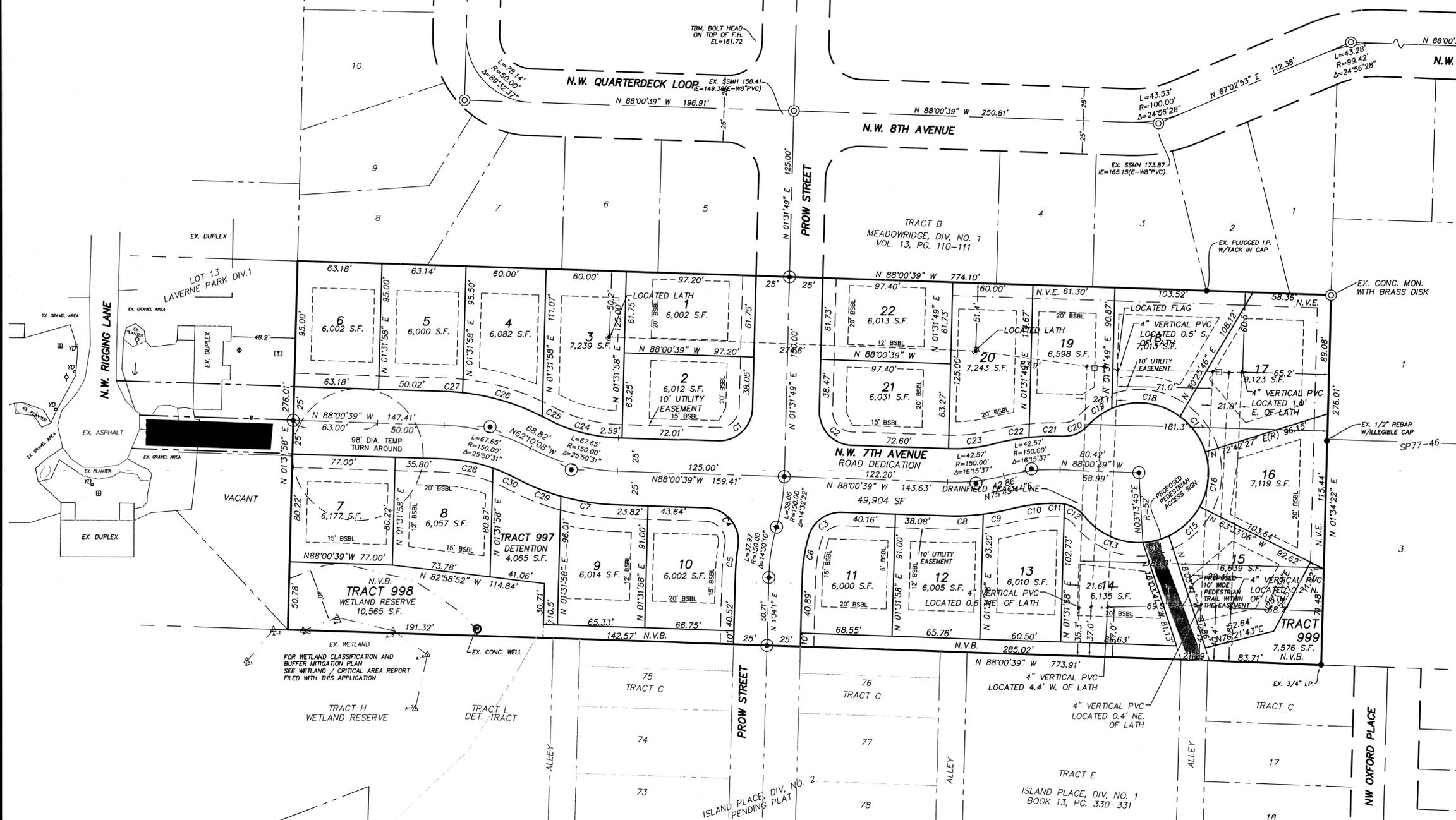
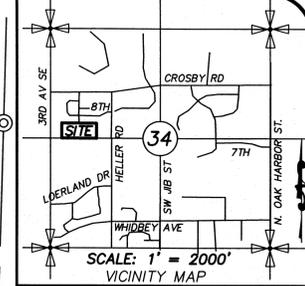
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1"=5' vertical scale
 1"=50' horizontal scale

**BECKETT LANDING
 PRELIMINARY SITE/UTILITIES PLAN
 ROAD & DRAINAGE PROFILE**

C3.0

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PROJECT DESIGN TEAM

PLANNER/PROJECT CONTACT: SURVEYOR APPLICANT/OWNER
 LAND RESOLUTIONS ORCA LAND SURVEYING SEATTLE PACIFIC DEVELOPMENT LLC
 3605 COLBY AVENUE 120 SW EVERETT MALL WAY
 EVERETT, WA 98201 (425) 258-3400 EVERETT, WASHINGTON 98201 SUITE 100
 (425) 486-6533 FAX (425) 258-1616 FAX (425) 953-2800
 EMAIL: LANDRES@LANDRES.COM EMAIL: RICHARD@ORCALANDSURV.COM DARINHOUSE@SEATTLEPACIFIC.COM
 CONTACT: RY MCCUFFY CONTACT: RICHARD HEALEY CONTACT: DARIN HUSEBY

ENGINEER LANDSCAPE ARCHITECT TRAFFIC
 SDI ORIGIN DESIGN GROUP GIBSON TRAFFIC CONSULTANTS
 1724 W. MARINE VIEW DRIVE #140 8011-4TH PLACE N.E.
 EVERETT, WA 98201 LAKE STEVENS, WA 98258 EVERETT, WA 98201
 (425) 486-6533 (425) 346-1905 (425) 339-8266
 FAX (425) 486-6593 CONTACT: KRISTAL LOWE FAX (425) 258-2922
 AREAV@SDIENGINEERS.COM CONTACT: ANDY REAVES EDWARDK@GIBSONTRAFFIC.COM
 CONTACT: ANDY REAVES CONTACT: EDWARD KOLTONOWSKI

WETLAND BIOLOGIST
 WETLAND RESOURCES, INC
 9509 19TH AVE. S.E. # 106
 EVERETT, WA 98208
 (425) 331-3174

PROJECT INFORMATION

TAX NUMBERS R13334-277-0660
 WITHIN UGA BOUNDARY CITY OF OAK HARBOR
 COMPREHENSIVE PLAN MEDIUM DENSITY RESIDENTIAL (3-12 DU/AC)
 PROPOSED LAND USE SINGLE FAMILY RESIDENTIAL
 EXISTING ZONING R2
 SEWAGE DISPOSAL CITY OF OAK HARBOR
 WATER SUPPLY CITY OF OAK HARBOR
 SCHOOL DISTRICT OAK HARBOR SCHOOL DISTRICT
 FIRE DISTRICT OAK HARBOR F.P.D.
 PARK DISTRICT CITY OF OAK HARBOR

MAXIMUM LOT COVERAGE ALLOWED 45 % OF LOT
 MAXIMUM BUILDING HEIGHT ALLOWED 35 FEET
 MINIMUM LOT WIDTH ALLOWED 60 FEET WIDE
 MINIMUM LOT SIZE ALLOWED 6,000 SQUARE FEET
 MINIMUM FRONTAGE ON PUBLIC ROAD 30 FEET
 10% TO BE NATIVE VEGETATION 21,363 SQUARE FEET

GROSS SITE AREA	213,626 SF	4.90 ACRES
TOTAL LOTS PROPOSED	22 LOTS	
GROSS DENSITY (22/4.90)	4.49 D.U. PER ACRE	
PROPOSED LOTS (1-22)	141,516 SF	3.248 ACRES
AVERAGE LOT SIZE	6,432 SF	0.151 ACRES
PROPOSED TRACT 997 (DET. TRACT)	4,065 SF	0.093 ACRES
PROPOSED TRACT 998 (N.V.E. ~ WETLAND)	10,565 SF	0.242 ACRES
PROPOSED TRACT 999 (N.V.E.)	7,576 SF	0.174 ACRES
PROPOSED ROAD DEDICATION	49,904 SF	1.146 ACRES
PROPOSED ROAD LENGTH	970 LF	
PERCENT OF GROSS SITE AREA	23.36 %	

NATIVE VEGETATION AREAS

REQUIRED	21,363 S.F.	10.00 % OF PROJECT
PROVIDED	22,050 S.F.	10.32 % OF PROJECT

TRACT 998 10,565 S.F.
TRACT 999 7,576 S.F.
 LESS PIED. TRAIL 845 S.F.
25 % NATIVE VEGETATION AREAS WITHIN PRIVATE LOTS

ALLOWED	5,341 S.F.	25 % OF REQUIRED
PROVIDED	4,754 S.F.	
COUNTED	4,754 S.F.	

LOT 16 1,114 S.F. N.V.E. NATIVE VEGETATION
 LOT 17 1,419 S.F. TO BE PRESERVED
 LOT 18 1,008 S.F.
 LOT 19 613 S.F.
 LOT 20 600 S.F.

SURVEY NOTES:

- SUBJECT TO EASEMENT FOR WATER LINES, A.F. NO. 240777 (THIS EASEMENT DOESN'T FALL WITHIN THE PROJECT BOUNDARY). IT IS LOCATED ALONG THE WESTERLY SIDE OF 150 N.W. STREET (HELLER STREET) AND RUNS NORTH TO CROSBY ROAD.
- BASIS OF BEARING:** BEARING SYSTEM IS BASED UPON THE NAD 1927 COORDINATE SYSTEM NORTH ZONE AS PER MEADOWRIDGE, DIV. NO. 1, VOL. 13, PG. 110-111.
- CONVERSION TO WASHINGTON COORDINATE SYSTEMS, NORTH ZONE (NAD 83/91), A ROTATION OF (00'01'27") TO THE SOUTH LINE AS CALLED OUT AS N 88'00'39" W TO ACHIEVE A BEARING OF N 88'02'06" E AS SHOWN ON THE NORTH LINE OF THE PLAT OF ISLAND PLACE DIV. NO. 1 VOL. 13, PG. 330-331.**
- BENCHMARK:** WGS SURVEY CONTROL DATA ID#SLUG, ELEV=135.52
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- TBM:** BOLT HEAD ON TOP OF F.H., LOCATED IN THE NW INTERSECTION CORNER OF 925 AVE W. & 160TH NW STREET, EL=161.72
- DATUM:** NAVD 88

DRAINAGE, GRADING, AND LANDSCAPE NOTES:
 FOR EXISTING SOILS TYPES, EXISTING VEGETATION COVER, EXISTING IMPERVIOUS AREA, PROPOSED IMPERVIOUS AREA, GRADING AND DRAINAGE PLANS, DRAINAGE REPORTS, EROSION CONTROL, GEOTECHNICAL REPORT AND GRADING QUANTITY, SEE DRAWINGS AND REPORTS PREPARED BY MR. ANDY REAVES WITH SDA ENGINEERS AS FILED WITH THIS APPLICATION.

LANDSCAPING NOTES:
 FOR VEGETATION COVER, EXISTING TREE INVENTORY, PROPOSED TREES TO BE REMOVED, PROPOSED TREE REPLACEMENT PLAN, STREET TREE PLAN, PROPOSED LANDSCAPING FOR THE LOTS, SEE DRAWINGS AND REPORTS PREPARED BY KRISTAL LOWE OF ORIGIN DESIGN GROUP LANDSCAPE ARCHITECTS AS FILED WITH THIS APPLICATION. THE CONSTRUCTION/CLEARING LIMITS HAVE BEEN SET THREE FEET BEYOND THE DRIP LINE OF THE TREES AND THAT GRADING/CONSTRUCTION ACTIVITIES WILL NOT DAMAGE THE TREES. IF SUITABLE VEGETATION IS NOT CONTAINED WITHIN THE NATIVE VEGETATION AREAS OR TREES WOULD BE DAMAGED BY CONSTRUCTION, THEY ARE TO BE REPLANTED. TREES WHICH ARE SUBJECT TO BEING BLOWN OVER FROM WIND ARE NOT CONSIDERED TO BE SUITABLE VEGETATION (OHMC 19.46.140(7)).

PEDESTRIAN TRAIL EASEMENT IN TRACT 999:
 THE PEDESTRIAN TRAIL LOCATED WITHIN TRACT 999 SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. IF THIS IS A PUBLIC CONNECTION PER OHMC 21.60.240(1) THE CITY WILL MAINTAIN THIS CONNECTION. THIS EASEMENT SHALL BE PUBLICLY ACCESSIBLE FOR INGRESS AND EGRESS.

DRAINAGE, GRADING AND LANDSCAPE NOTES:

OWNERSHIP AND MAINTENANCE OF TRACTS AND NATIVE VEGETATION EASEMENTS
 THE TRACTS WITHIN THIS SUBDIVISION SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER ASSOCIATION. (H.O.A.). THE NATIVE VEGETATION THAT FALLS WITHIN THE LOT BOUNDARY OF ANY LOT SHALL BE OWNED AND MAINTAINED BY THAT LOT IN WHICH IT IS CONTAINED.

TEMPORARY TURN AROUND
 THE TEMPORARY TURN AROUND LOCATED AT THE WEST END OF N.W. 7TH AVENUE SHALL BE EXTINGUISHED AND THE IMPROVEMENTS SHALL REMOVED BY THE OWNER OF LOT 7, ONCE N.W. 7TH AVENUE IS EXTENDED WESTERLY. THE SIDEWALK, LANDSCAPING AND NECESSARY STREET IMPROVEMENTS WILL HAVE BEEN COMPLETED PRIOR TO BUILDING PERMIT ISSUANCE FOR LOT 7.

NATIVE VEGETATION AND NATIVE VEGETATION EASEMENTS
 (N.V.E. NATIVE VEGETATION EASEMENT) & (N.V.B. NATIVE VEGETATION BUFFER) THE NATIVE VEGETATION AND THE NATIVE VEGETATION BUFFERS SHALL REMAIN IN THEIR NATURAL STATE. THE HOMEOWNERS SHALL OWN AND PROTECT THE BUFFERS WITHIN THE OPEN SPACE TRACT. THERE SHALL BE NO REMOVAL OF VEGETATION WITHIN THESE AREAS. TRIMMING AND TREE REMOVAL WITHIN THE NATIVE VEGETATION AREAS SHALL ONLY OCCUR SUBJECT TO CITY OF OAK HARBOR STANDARDS (OHMC 19.46.140(11)).

STREET TREES AND PLANTER STRIPS
 STREET TREES PLANTED IN THE DESIGNATED LANDSCAPE STRIP ALONG FRONTAGE OF ALL LOTS, IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN ASSOCIATED WITH THE RESIDENTIAL PLAT OF BECKETT LANDING, SHALL BE MAINTAINED BY THE PROPERTY OWNERS OF LOTS DIRECTLY ADJACENT TO THE LOCATION OF THE STREET TREES. THE REPLACEMENT OF STREET TREES FOR THOSE THAT HAVE DIED IS THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNERS. THE LOCATION AND TREE SPECIES FOR REPLACEMENT TREES MUST BE IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN FOR THE PLAT OR AS APPROVED BY THE DIRECTOR AND SHALL NOT OBSTRUCT THE TRAVEL LANE OR PARKING STALLS AT FULL MATURITY. IF PROPERTY OWNERS DO NOT MAINTAIN STREET TREES, THE CITY OF OAK HARBOR MAY CHOOSE TO MAINTAIN THESE TREES AND INVOICE THE ADJACENT PROPERTY OWNER FOR THE COST OF THE WORK.

OWNERSHIP AND MAINTENANCE OF TRACTS IF ASSOCIATION IS DISSOLVED
 THE TRACTS WITHIN THIS SUBDIVISION SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER ASSOCIATION. (H.O.A.). FOR ANY REASON THE HOMEOWNERS ASSOCIATION FOR THIS SUBDIVISION IS DISSOLVED THE MAINTENANCE AND RESPONSIBILITY OF THE TRACTS SHALL RUN WITH AND BE TIED TO LOTS 1 THROUGH 22 OF THIS SUBDIVISION.

PUBLIC ROAD DEDICATION
 UPON RECORDING THIS SUBDIVISION, THE ROADS AND STREETS AS SHOWN HEREON SHALL BE DEDICATED AS PUBLIC STREETS TO THE CITY OF OAK HARBOR PER OHMC 21.40.040

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA
C1	39.47	25.00	90'27.32"
C2	39.07	25.00	89'32.28"
C3	33.06	25.00	75'46.28"
C4	42.30	25.00	98'56.42"
C5	22.51	175.00	7'22'07"
C6	31.56	125.00	14'27'55"
C7	41.95	175.00	13'44'06"
C8	27.78	175.00	9'05.45"
C9	21.88	175.00	7'09.52"
C10	36.02	125.00	16'30'33"
C11	3.56	25.00	8'09'42"
C12	17.93	25.00	41'05'40"
C13	49.67	52.00	52'43'29"
C14	20.17	52.00	22'13'21"
C15	32.27	52.00	35'33'40"
C16	42.00	52.00	46'16.47"
C17	33.01	52.00	36'22'09"
C18	53.85	52.00	59'19'50"
C19	22.26	52.00	24'31'35"
C20	21.66	25.00	49'37'55"
C21	24.54	175.00	8'02'00"
C22	25.31	175.00	8'12'06"
C23	35.47	125.00	17'05'31"
C24	56.38	125.00	25'50'31"
C25	3.36	175.00	1'05'56"
C26	62.44	175.00	20'26'36"
C27	13.13	175.00	4'17'59"
C28	38.29	125.00	17'32'59"
C29	36.98	175.00	12'06'29"
C30	18.09	125.00	8'17'39"

PROJECT NOTES:

- NO DUPLEX STRUCTURES PROPOSED WITHIN THIS SUBDIVISION.
- ENTIRE SITE LIES OUTSIDE OF FLOOD HAZARD AREA AND LANDSLIDE HAZARD AREA.
- ALL LOT AREAS ARE GROSS AREAS UNLESS OTHERWISE NOTED.
- FIRE HYDRANT(S) TO BE INSTALLED WITHIN THE SUBDIVISION AS DIRECTED BY THE FIRE MARSHALL.
- BUILDING SETBACKS ARE 20' FRONT YARD, 5' & 12' SIDE YARDS, 20' REAR YARDS, 15' REAR YARD NEAR WETLAND BUFFER IN TRACT 998, & 15' SETBACKS ON FLANKING STREETS.
- 10' UTILITIES EASEMENT ABUTTING ROAD FRONTAGE ON ALL LOTS AND TRACTS AT TIME OF RECORDING.
- ADJOINING LOT DATA INFORMATION TAKEN FROM THE PROPERTY AND TAX DATA PREPARED BY THE ISLAND COUNTY ASSESSOR.
- FOR LINE OF DEVELOPMENT ACTIVITY AND PROJECT CLEARING LIMITS SEE LANDSCAPE PLANS AND ENGINEERING PLANS.
- TWO OFF-STREET PARKING SPACES ARE REQUIRED FOR EACH SINGLE-FAMILY DWELLING UNIT. THE SPACES CAN BE DRIVEWAY OR GARAGE SPACES. EACH SPACE MUST BE 9' WIDE BY 20' LONG.
- PROJECT SHALL BE CONSTRUCTED IN ONE PHASE.
- NO PLAT MONUMENT / SIGNAGE IS PROPOSED FOR THIS SUBDIVISION.
- WELLS TO BE ABANDONED IN ACCORDANCE WITH DEPARTMENT OF ECOLOGY REQUIREMENTS. THIS WELL DOES NOT SERVE ANY ADJACENT PROPERTY OR ANY OTHER PROPERTY.
- MAINTENANCE OF THE IRRIGATION AND IRRIGATION WATER COSTS FOR THE PLANTER STRIPS IN PUBLIC RIGHT OF WAY SHALL BE PAID BY THE HOMEOWNER'S ASSOCIATION (HOA).

LEGAL DESCRIPTION
 THAT PORTION OF THE SOUTH 276 FEET OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 33 NORTH, RANGE 1 EAST OF THE W.M., AS MEASURED PARALLEL TO THE SOUTH LINE OF THE FOLLOWING DESCRIBED TRACT:
 THE WEST 773.95 FEET OF THE EAST 1033.95 FEET AS MEASURED FROM THE CENTER OF HELLER ROAD IN THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 33 NORTH, RANGE 1 EAST OF THE W.M., LYING SOUTH OF CROSBY ROAD.
 SITUATE IN ISLAND COUNTY, WASHINGTON.

RECEIVED
 APR 21 2014
 CITY OF OAK HARBOR
 Development Services Department

GRAPHIC SCALE
 SCALE: 1" = 40'

LAND RESOLUTIONS
 LAND USE CONSULTANTS
 Design • Planning • Management
 3605 Colby Avenue - Everett, WA 98201
 tele (425) 258-3400 fax (425) 258-1616
 landres@landres.com

ORCA Land Surveying
 3605 COLBY AVENUE, EVERETT, WA 98201
 425-259-3400 FAX: 425-258-1616

1724 W. Marine Drive, Suite 140, Everett, Washington 98201
 Office (425) 486-6533 Fax: (425) 486-6593 www.sdaengineers.com

3/21/14

SEP-12-07

**CITY OF OAK HARBOR
MITIGATED DETERMINATION OF NONSIGNIFICANCE**

Description of proposal: The applicant proposes to subdivide the property into 22-lots for single-family residences and install associated improvements including streets, sidewalks, utility infrastructure (stormwater, sewer, water). The applicant also proposes to preserve the onsite wetland at the southwest corner of the site, but will reduce the standard 70-foot buffer required for a Category III wetland to a 40-foot buffer through mitigation plantings and buffer averaging. The function and values of the wetland are projected to remain equal or better by the applicant's wetland specialist. Also preserved on the site as part of the project development will be approximately 1/2-acre of native vegetation areas. The onsite circulation system will extend NW Prow Street to the south to the Island Place development and will extend NW 7th Avenue to the west for eventual extension to NW Upsala Street.

Proponent Land Resolutions on behalf of Seattle Pacific Development, LLC

Location of proposal The project is located south of the existing terminus of NW Prow Street, west of Heller Street and the Paragon Place development, and north of the existing/proposed Island Place development.

Lead Agency City of Oak Harbor

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request.

This MDNS is issued under 197-11-350; with a fifteen day comment period ending on April 21 before 5:00 p.m.; provided there are no substantive comments submitted, the MDNS will become final on that date.

FINDINGS:

Earth

1. The site gently slopes downhill from east to west with maximum slopes of approximately 8 percent.
2. The applicant is proposing 4,500 cubic yards of cut on the site and 5,000 cubic yards of fill to bring the site to the desired elevation. The majority of the cut material will be retained on-site.
3. The applicant is proposing to utilize construction stormwater and erosion control BMPs in compliance with the Department of Ecology requirements. The BMPs are detailed in the applicant's stormwater pollution prevention plan. These BMPs will adequately control erosion during construction and include: (1) marking clearing limits (2) stabilized construction entrance (3) a temporary detention facility (4) filter fabric fencing (5) mulching and hydroseeding of graded soils (6) filter fabric socks on storm inlets (7)

check dams (8) construction vehicle staging (11) maintenance of all BMPs and (12) having a certified erosion control lead (CESCL) onsite.

Air

4. During construction, there may be nominal increases in air emissions from construction vehicles. After construction, there may also be nominal increases to air emissions associated with the residential structures and vehicular traffic.

Water

5. There is a category III onsite wetland located at the southwest corner of the site with a required standard 70-foot buffer and a habitat rating of less than 15. No fill or dredge material is proposed to be placed in the wetland.
6. The applicant is proposing to reduce the standard 70-foot buffer width of the wetland to 40 feet as allowed by the Oak Harbor Municipal Code through the use of restoration plantings and buffer averaging. The applicant's wetland specialist has indicated that the functions and values of the wetland post development will be equal or improved over existing conditions.
7. During construction, the wetland will be protected through the use of DOE approved BMPs including a siltation fence placed at the edge of the reduced wetland buffer.
8. After construction, stormwater runoff from the site will be treated using DOE approved permanent BMPs. The applicant proposes to collect, retain, treat, and infiltrate stormwater in the proposed onsite raingarden and infiltration gallery near the southwest side of the site. In addition, the applicant proposes infiltration trenches for roof drains on all lots.
9. There is an existing private septic drain field on the east side of the subject property served by a private pressure line that runs east west through the northern section of the property. This septic drain field and pressure line serves approximately 27 multifamily rental units at the Heathrow Apartments located immediately to the west and north of the project site.

Plants

10. The site is currently forested with a mix of Douglas Fir, Western Hemlock, and Western Red Cedar. Understory plants include Salmonberry, Himalayan Blackberry, Oregon Grape and other species.
11. The applicant is proposing to remove the majority of vegetation on the site, but will preserve 10 percent of the native vegetation, including 15 percent of the significant trees 12-inches d.b.h. or greater on the site, as required by the Oak Harbor Municipal Code (OHMC) in native vegetation areas generally located on the north, east, and southern edges of the site.
12. There are no known threatened or endangered plant species on the site.

Animals

13. The site contains minimal animal habitat. What exists is primarily composed of habitat for passerine birds as stated by the applicant's wetland specialist. The applicant also states in their SEPA environmental checklist that hawks, herons, songbirds, deer, and rabbit are known to occur on or near the site. There are no known threatened or endangered species on or near the site.

Energy and Natural Resources

14. The finished homes on the site will use a combination of electricity and natural gas to meet the energy needs of the project.
15. The applicant will meet all applicable provisions of the Washington State Energy Code and International Residential Code.

Environmental Health

16. As with all wooden structures, there is a risk of fire with the single-family homes that will eventually be constructed on the site. The applicant will be required to meet International Residential Code and International Fire Code requirements for fire-resistive construction. Fire suppression will be provided to the site by the Oak Harbor Fire Department.
17. Noise will be generated during the construction of the project from construction vehicles and activities. The applicant will be required to meet the City's noise ordinance (OHMC 6.56.030) by limiting construction to the hours of 7:00 a.m. – 9:00 p.m. Monday through Friday. Construction activities outside of these hours are only allowed with building official approval.

Land and Shoreline Use

18. The site is designated "Medium-High Density Residential" in the City's Comprehensive Plan and is zoned R-2 "Limited Multi-Family Residential." The applicant is proposing single-family lots at densities meeting the zoning requirements of the R-2 zone.
19. The site contains an environmentally sensitive area in the form of a category III wetland at the southwest side of the site.

Housing

20. The applicant is proposing single-family housing on the site. As no housing units presently exist on the site none will be demolished.

Aesthetics

21. The applicant is proposing single-family structures which will adhere to the 35-foot height limits in the R-2 zone. No significant aesthetic impacts are anticipated from the construction of these structures and associated site improvements.

Light and Glare

22. The completed project will produce light levels from finished homes, automobiles, and street lighting typical of a single-family neighborhood. Street lighting will be required to be in accordance with City standards for reduction of light pollution and glare.

Recreation

23. As a single-family neighborhood, the proposed development will increase demand for and use of city parks. The applicant will pay the City's applicable park impact fees as mitigation for the increased demand and use of city parks.

Historic and Cultural Preservation

24. There are no known historic sites, objects, or evidence of archaeological, scientific, or cultural importance on the site. The Department of Archaeology and Historic Preservation reviewed the applicant's SEPA environmental checklist and commented that "the project area landform has a low to moderate probability for containing precontact archaeological resources." DAHP recommended that an Inadvertent Discovery Plan (IDP) be added to the permit and be available for reference during construction.

Transportation

25. The applicant is proposing an onsite system of streets to serve the development. Primary access to the site will be from NW Prow Street.
26. An Island Transit bus stop is within walking distance (1/2 mile) of the site along Heller Street.
27. The applicant is proposing a minimum of two off-street parking spaces to serve each lot.
28. To reduce speeds within the neighborhood, a traffic calming measure will be required.
29. The applicant will pay applicable transportation impact fees for each residential unit.

Public Services

30. The proposal will incrementally increase the demand for public services including fire, police, health care, schools, etc. Property taxes levied on lots within the development will help mitigate for the increased demand on public services.

Utilities

31. The applicant will install utility infrastructure to serve the site. The property owners or home owners association will maintain the onsite stormwater infrastructure. Oak Harbor will own and maintain sewer, water, and stormwater infrastructure within public rights-of-way and provide solid waste disposal services to residents. Puget Sound Energy will be the purveyor of electricity, Comcast the purveyor of cable/internet, and Frontier the purveyor of telephone. All utility infrastructure will be placed underground.

CONDITIONS:*Water*

1. The applicant shall meet all requirements of the City's critical areas ordinance (OHMC Title 20) regarding mitigating impacts to the wetland and its buffer during and after construction and shall also adhere to all recommendations in the wetland reports by Bredberg and Associates and Wetland Resources, Inc. including the "Buffer Enhancement Plan" by Wetland Resources dated March 11, 2014.
2. The applicant must decommission or abandon in-place the existing private septic pressure line and drain field on the property in accordance with Island County Health Department and State of Washington Department of Health requirements prior to the issuance of building permits on the subject site.

Light and Glare

3. The applicant shall install city-approved street lights in accordance with City standards for reduction of light pollution and glare.

Historic and Cultural Preservation

4. The applicant shall sign a copy of the City's Inadvertent Discovery Plan (IDP) and make a copy of the IDP available onsite during construction.

Transportation

5. To reduce speeds within the proposed development, the applicant shall install a city-approved traffic calming mechanism. The specific location and design of this mechanism will be determined as part of the civil plan approval.

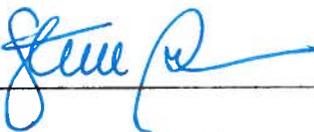
Responsible Official: Steve Powers, AICP

Position/Title: Development Services Director

Phone: (360) 279-4512

Address 865 SE Barrington Drive, Oak Harbor, WA 98277

Date April 3, 2014 (Revised April 21, 2014)

Signature 

This determination of non-significance shall be considered final. You may comment on this determination at Oak Harbor City Hall, 865 SE Barrington Drive, Oak Harbor, WA, 98277 no later than close of business April 21, 2014.

**BEFORE THE CITY OF OAK HARBOR PLANNING COMMISSION
STATE OF WASHINGTON**

In Re Seattle Pacific Development, LLC)
Preliminary Plat #PPL-12-02)
Beckett Landing)

FINDINGS OF FACT
CONCLUSIONS OF LAW
RECORD OF DECISION

This matter having come as a public hearing before the Oak Harbor Planning Commission on the 27th day of May, 2014 upon application of Seattle Pacific Development, LLC, represented by Ry McDuffy, petitioner, appearing in person; Development Services Department of the City of Oak Harbor appearing by it's Director; and the City of Oak Harbor Planning Commission being advised and having considered the evidence and testimony presented now make the following:

1. FINDINGS OF FACT

1.1 Jurisdiction herein was obtained by an application from Seattle Pacific Development, LLC for Preliminary Plat approval of Beckett Landing, a 22-lot subdivision located south of the terminus of NW Prow Street, east of the Paragon Place development, north of the existing/proposed Island Place development, and west of the terminus of NW Rigging Lane, more specifically encompassing Island County parcel number R13334-277-0660.

1.2 The City of Oak Harbor Planning Commission after due notice of hearing did consider the application of Seattle Pacific Development, LLC for the Preliminary Plat of Beckett Landing at a regular meeting on May 27, 2014. The hearing was recorded and a written transcript may be prepared therefrom.

1.3 The City of Oak Harbor Planning Commission discussed all matters presented thereto and concluded that:

.i An environmental assessment was made of the project in accordance with the checklist requirements of the State Environmental Policy Act of 1971. This proposal has been determined to not have a significant impact upon the environment. An Environmental Impact Statement is not required under RCW 43.21C.030(2)C.

.ii A Mitigated Determination of Nonsignificance (MDNS) was issued for the proposal on April 4, 2014 in accordance with WAC 197-11-350. A revised MDNS was issued for the project on April 21, 2014.

.iii The application as submitted by Seattle Pacific Development, LLC for the Beckett Landing preliminary plat meets the requirements of the subdivision ordinance of the City of Oak Harbor contained in the Oak Harbor Municipal Code, Title 21 and of RCW 58.17, subject to the

conditions of approval.

.iv The Beckett Landing preliminary plat meets the zoning requirements for the district in which it is located and is consistent with the Oak Harbor Comprehensive Plan.

1.4 The Beckett Landing Preliminary Plat #12-02 has been processed in accordance with RCW Title 58, the City of Oak Harbor Municipal Code Titles 18, 19 and 21, the State Environmental Policy Act RCW 43.21C and the Open Meetings Act of 1971 RCW 42.30 and the action is in accord therewith.

From the foregoing FINDINGS OF FACT, the Oak Harbor Planning Commission makes the following:

2. CONCLUSION OF LAW

2.1 The findings of fact as noted in the records of the City of Oak Harbor Development Services Department upon which the recommendation for approval of the Preliminary Plat of Beckett Landing was made by the City of Oak Harbor Planning Commission are proper and have not been reached in an arbitrary or capricious manner nor without due process of law.

3. RECORD OF DECISION

3.1 On May 27, 2014 the Oak Harbor Planning Commission did recommend that the City Council approve the Preliminary Plat for Beckett Landing, application #PPL-12-02, submitted by Seattle Pacific Development, LLC, subject to the following conditions of approval:

1. The applicant's civil engineering construction drawings, landscape plans, land clearing plans, grading plans, and final plat drawing shall be in general conformance with the approved preliminary plat drawing titled "Preliminary Subdivision of Beckett Landing," Sheet 1 of 2 dated March 24, 2014.

2. The applicant's engineering construction drawings and final plat shall be in general conformance with the approved "Buffer Enhancement Plan, Sheet 1/1" by Wetland Resources Inc. dated March 25, 2014.

3. Prior to construction permits being issued, the applicant shall submit detailed landscape and irrigation plans in compliance with OHMC 19.46.

4. The applicant shall post a three year maintenance bond to ensure landscaping completion and a minimum plant survival of 80 percent at the end of three years. The type of bond shall be approved by the City and must be submitted on forms supplied by the City of Oak Harbor. The approved bond shall be posted with the Development Services Department prior to the issuance of a building permit. The bond amount shall be 150 percent of a

ATTACHMENT H

landscaping maintenance bid amount submitted and approved by the City. The bid amount must include labor and materials.

5. Prior to final plat approval, the applicant shall submit covenants for the commonly owned native vegetation areas which describe how these areas are to be preserved and maintained. The maintenance provisions shall at a minimum describe cutting, trimming, topping, pollarding procedures and removal of non-native vegetation, trash and debris.

6. Prior to final plat approval, the applicant shall provide easements for all native vegetation areas contained within private lots which describe how these areas are to be preserved and maintained. The maintenance provisions shall at a minimum describe cutting, trimming, topping, pollarding procedures and removal of non-native vegetation, trash and debris.

7. Prior to approval of final plat, the applicant is required to submit a copy of all proposed deed restrictions and covenants.

8. The applicant shall include dedication language on the face of the final plat as stated in OHMC 21.40.040.

9. Prior to approval of final plat, the applicant shall delete the existing language on the face of the plat referencing maintenance by the City of the pedestrian trail easement in Tract 999 and replace it with the following language: "The pedestrian bike connection is contained within a publicly accessible easement. All improvements and landscaping within the easement shall be maintained by the homeowners association. If fencing is installed along the length of the pedestrian bike connection it shall be no more than 6 feet high when adjacent to the side yard areas of adjacent lots and no more than 3 feet high adjacent to front yard areas of adjacent lots. Fencing shall not be installed within 10 feet of the terminus of the pedestrian/bike connection at either end."

10. Prior to approval of civil engineering construction drawings, the applicant shall show bollard lighting at both ends of the pedestrian/bike connection for illumination and safety. The bollard lighting shall be shown on the construction drawings.

11. Prior to approval of civil engineering construction drawings, the applicant shall show signs at both entrances of the pedestrian connection indicating that it is publicly accessible to bikes and pedestrians, but that motorized vehicles are prohibited. Such signs shall be depicted on the construction drawings and located in the adjacent landscape strips so as to limit the probability of conflicts with pedestrians and bikes.

12. The applicant shall submit wetland and buffer monitoring reports in years 1, 3, and 5 after initial planting to the City of Oak Harbor, Development Services Department. These reports must meet the recommendations contained in the Addendum to Wetland and Buffer Enhancement Report" and the Buffer Enhancement Plan, sheet 1/1 dated March 11, 2014 and submitted to the City on March 25, 2014.

ATTACHMENT H

13. Prior to approval of final plat, the applicant shall submit a financial guarantee to ensure that the buffer enhancement plan is fully implemented and meeting performance standards. Guarantees shall be in the form of a surety bond, performance bond, assignment of savings account, or an irrevocable letter of credit guaranteed by an acceptable financial institution with terms and conditions acceptable to the city. Guarantees shall remain in effect for a minimum of five years until the city determines, in writing that the standards bonded for have been met, to ensure that the required mitigation has been fully implemented and demonstrated to function. Depletion, failure, or collection of bond funds shall not discharge the obligation of an applicant or violator to complete required mitigation, maintenance, monitoring, or restoration.

14. The applicant shall place permanent native growth protection area signs as depicted on the Buffer Enhancement Plan by Wetland Resources, dated March 25, 2014. These signs shall be placed in three locations around the perimeter of the wetland adjacent to proposed lots 7, proposed lot 8 and Tract 997.

15. Prior to final plat approval, the applicant shall install a 6-foot high solid fence along the proposed buffer perimeter line to block noise and light and provide added protection from humans and pets.

16. Following approval of the Preliminary Plat, construction plans must be submitted to and approved by the Engineering Department prior to commencing any construction activities. These plans must include all street and frontage improvements (including sidewalk, curb, gutter, paving, traffic control, storm drainage, and street illumination), all pedestrian tract improvements (lighting, pathway, landscaping), and all existing and proposed utilities including, but not limited to water, sewer, storm drainage (including a site drainage analysis), power, telephone, cable, and gas. All proposed improvements must meet the City of Oak Harbor standards for materials and installation practices. (Note to applicant: based on the final design of the stormwater treatment and flow control facilities, Tract 997 and/or the setbacks from the stormwater facilities may have to increase in size.)

17. Prior to final plat approval, the applicant shall grant an easement to the City of Oak Harbor which shall contain the proposed temporary turnaround on the west side of the site. This easement shall be granted for the purposes of pedestrian and vehicle travel. No improvements for lots 7 and 8 including, but not limited to driveways, landscaping, buildings, or fences shall be constructed within the easement for the temporary turnaround. The easement shall be reflected on the final plat drawing.

18. Prior to issuance of construction permits, the applicant shall submit civil engineering construction drawings showing the proposed temporary improvements within the temporary turnaround area on the west side of the site. The temporary improvements shall include:

ATTACHMENT H

a. Curb, gutter, and sidewalk around the perimeter (circumference) of the temporary turnaround. The sidewalk shall be constructed of 6-inch thick concrete for the sidewalk to accommodate the loads of an emergency vehicle.

b. Asphalt pavement section in accordance with City Standards.

19. No portion of the temporary turnaround on the west side of the site shall be north of the face of the curb along the north side of N.W 7th Avenue.

20. After extinguishment of the turnaround easement, and prior to issuance of a building permit for lot 7, the owner of lot 7 shall be responsible for the removal of the asphalt pavement section and concrete improvements from the easement area, restoration of appropriate areas to grass, and installation of pavement, curb, gutter, sidewalk, planter strip, (including irrigation if present in adjoining planter strip) street trees and other necessary appurtenances to complete the road frontage section in alignment with a westerly extension of N.W. 7th Avenue.

21. The applicant must decommission or abandon in-place the existing private septic pressure line and drain field on the property in accordance with Island County Health Department and State of Washington Department of Health requirements prior to the issuance of construction permits on the subject site.

3.2 This order is advisory to the City Council and may be accepted by the City Council, or rejected by the City Council after a public meeting.

APPROVED AND ADOPTED THE 27th DAY OF MAY, 2014.

PLANNING COMMISSION
CITY OF OAK HARBOR, WASHINGTON

Chair

Attest:

Kathy Gifford
Clerk to the Planning Commission

Water System Plan

Public Hearing

Memo

To: Members of the Planning Commission
Cc: Steve Powers, Development Services Director
From: Ethan Spoo, Senior Planner
Date: 5/19/2014
Re: Draft Water System Plan

PURPOSE

This staff report presents the Draft Water System Plan (Attachment A) to Planning Commission for consideration.

BACKGROUND

What is a Water System Plan?

The City of Oak Harbor operates a Group A (public) water system and is required to update its Water System Plan each six years by the State of Washington, Department of Health. The plan must meet the requirements of Washington Administrative Code (WAC) section 246-290 pertaining to Group A water systems.

Water system plans project the future water needs of a community for six and 20 years into the future and propose a series of improvements (i.e., pumps, pipes, reservoirs, etc.) to meet this demand. The Draft Water System Plan estimates future demand by looking at the future population of the City of Oak Harbor's "retail service area" which is the same as its urban growth area (UGA). The following table shows the population for six and 20 years into the future for Oak Harbor's future retail service area as projected in the Draft Water System Plan:

Year	Population
2019	22,440
2033	24,999

The population projections take into account future squadron increases for Naval Air Station Whidbey Island (NASWI).

Based on the population projections, the Draft Water System Plan recommends a list of capital improvements to ensure that the City's water system can continue to meet future needs. A complete list of recommended improvements to the City's water system is contained within Chapter 8 of the document. The 6-year capital improvement list includes, but is not limited to the following improvements: Cross City Transmission Main (Project T-1), North-End Trunk Main Phases 1 and 2 (Project T-2), North Booster Pump Station (Project BS-3), West 384 Zone Extension Phase 1 (Project T-3), Glencoe Street Fire Flow Improvements (Project DS-2), Westside Water Main Extension (Project T-5) and the Campbell Lake Main Replacement (Project T-6). These

projects and others in the 6-year timeframe total \$17,284,000 and will be paid for primarily from monthly water service charges. Please see Attachment B showing a complete listing of improvements, their cost, and a map showing their location.

Required Public Outreach

As part of the requirements of adopting the Water System Plan, the City is required to perform certain types of public outreach including an informational meeting for its customers and discussion of its water use efficiency goals in a public hearing; the Planning Commission meeting will serve both purposes. Following is a discussion of the City's water use efficiency goals.

Relationship to the Oak Harbor Comprehensive Plan

The Draft Water System Plan will help implement Oak Harbor's Comprehensive Plan. In order to provide for future population growth and to accommodate the mix of land uses in the City's Comprehensive Plan, adequate infrastructure, including water facilities need to be provided. Goal 1 of the Utilities Element of the Comprehensive Plan is *"Facilitate the orderly and cost-effective development of all utilities at adequate levels of service to accommodate growth that is projected to occur within the Oak Harbor UGA."*

The Draft Water System Plan projects the type of and number of water system improvements necessary to meet future water demand. In turn, the list of improvements is adopted into the City's Capital Improvement Plan. Thus, the Draft Water System Plan is an important method for implementing the City's Comprehensive Plan and helping to accommodate new growth in the community.

DISCUSSION

Water Use Efficiency Goals

The City is required to adopt water use efficiency goals every six years in accordance with WAC 246-290-830(4) and to discuss these goals "in a public forum that provides opportunity for consumers and the public to participate and comment on the water use efficiency goals." The City's proposed water use efficiency goals are contained in Chapter 5 of the Draft Water System Plan. The City's two water use efficiency goals are:

1. **Maintain Distribution System Leakage (DSL) below 10 percent.** The City plans to maintain its achievement of this goal through: water meter accuracy testing, leak detection and repair, preventative maintenance replacement of old or leaking water mains, and continued installation of new automated meter reading (AMR) equipment.
2. **Maintain single-family residential use at or below 64 gallons per capita per day (GPCD).** The City plans to do this through consumer education and awareness, leak detections and repair, appropriate summer watering through customer education and voluntary participation, and encouraging low impact development measures.

In addition to the efficiency measures mentioned above, the city's most effective efficiency incentive is its "increasing block" water rate structure which charges more per unit for high consumption. The rate structure encourages greater awareness of consumers using larger amounts of water.

RECOMMENDATIONS

1. Conduct the public hearing and invite comments from the public and consumers on the water system plan and the water use efficiency goals

2. Forward a recommendation to City Council for approval of the Draft Water System Plan

ATTACHMENTS

1. Attachment A – City of Oak Harbor Draft Water System Plan, dated March 2014, available on the internet at http://www.oakharbor.org/get_document.cfm?document=3387
2. Attachment B – Recommended capital improvement projects, costs, and location map

SUMMARY OF RECOMMENDED IMPROVEMENTS

A proposed schedule and cost summary for the recommended capital improvements is shown in Table 8-5. Estimated construction costs have been adjusted for inflation and are increased at annual rate of 3 percent. Detailed cost estimates for the City's improvement projects are included in Appendix T. A water system facility map that shows the locations of the proposed improvements is included as Figure 8-1.

TABLE 8-6

Projected Capital Improvement Project Schedule

Construction Year	Project No.	Project Name	Estimated Cost ⁽¹⁾	Estimated Construction Cost ⁽²⁾
2014	S-2	Emergency Supply Study	\$100,000	\$100,000
	T-1	Cross City Transmission Main ⁽³⁾	\$3,559,000	\$3,559,000
	T-2	North-End Trunk Main: Phases 1 and 2 ⁽³⁾	\$1,767,000	\$1,767,000
	BS-1	Ault Field Booster Station Surge Protection Analysis	\$208,000	\$208,000
	BS-2	Ault Field Booster Station Pump Replacement	\$86,000	\$86,000
	PZ-3	East 384 Zone Development ⁽³⁾	\$90,000	\$90,000
	DS-9	Steel/AC Pipe Replacement	\$500,000	\$500,000
2014 Subtotal			\$6,310,000	\$6,310,000
2015	S-1	Well 9 Replacement	\$236,000	\$243,000
	S-3	Eastside Reservoir Demolition	\$100,000	\$103,000
	BS-3	North Booster Pump Station ⁽³⁾	\$2,398,000	\$2,470,000
	PZ-1	O'Leary Way Water Main	\$599,000	\$617,000
	PZ-2	North O'Leary Way Water Main	\$511,000	\$526,000
	DS-9	Steel/AC Pipe Replacement	\$500,000	\$500,000
2015 Subtotal			\$4,344,000	\$4,464,000
2016	DS-1	NE Regatta Drive Pipeline	\$116,000	\$123,000
	PZ-4	West 384 Zone Development	\$326,000	\$346,000
	DS-9	Steel/AC Pipe Replacement	\$500,000	\$500,000
2016 Subtotal			\$942,000	\$969,000
2017	T-4	24-Inch Transmission Line Investigation	\$150,000	\$150,000
	S-4	Emergency Supply Well	\$301,000	\$329,000
	DS-9	Steel/AC Pipe Replacement	\$500,000	\$500,000
2017 Subtotal			\$951,000	\$979,000
2018	T-3	West 384 Zone Extension: Phase 1	\$2,678,000	\$3,014,000
	DS-2	Glencoe Street Fire Flow Improvements	\$936,000	\$1,053,000
	DS-9	Steel/AC Pipe Replacement	\$500,000	\$500,000
2018 Subtotal			\$4,114,000	\$4,567,000

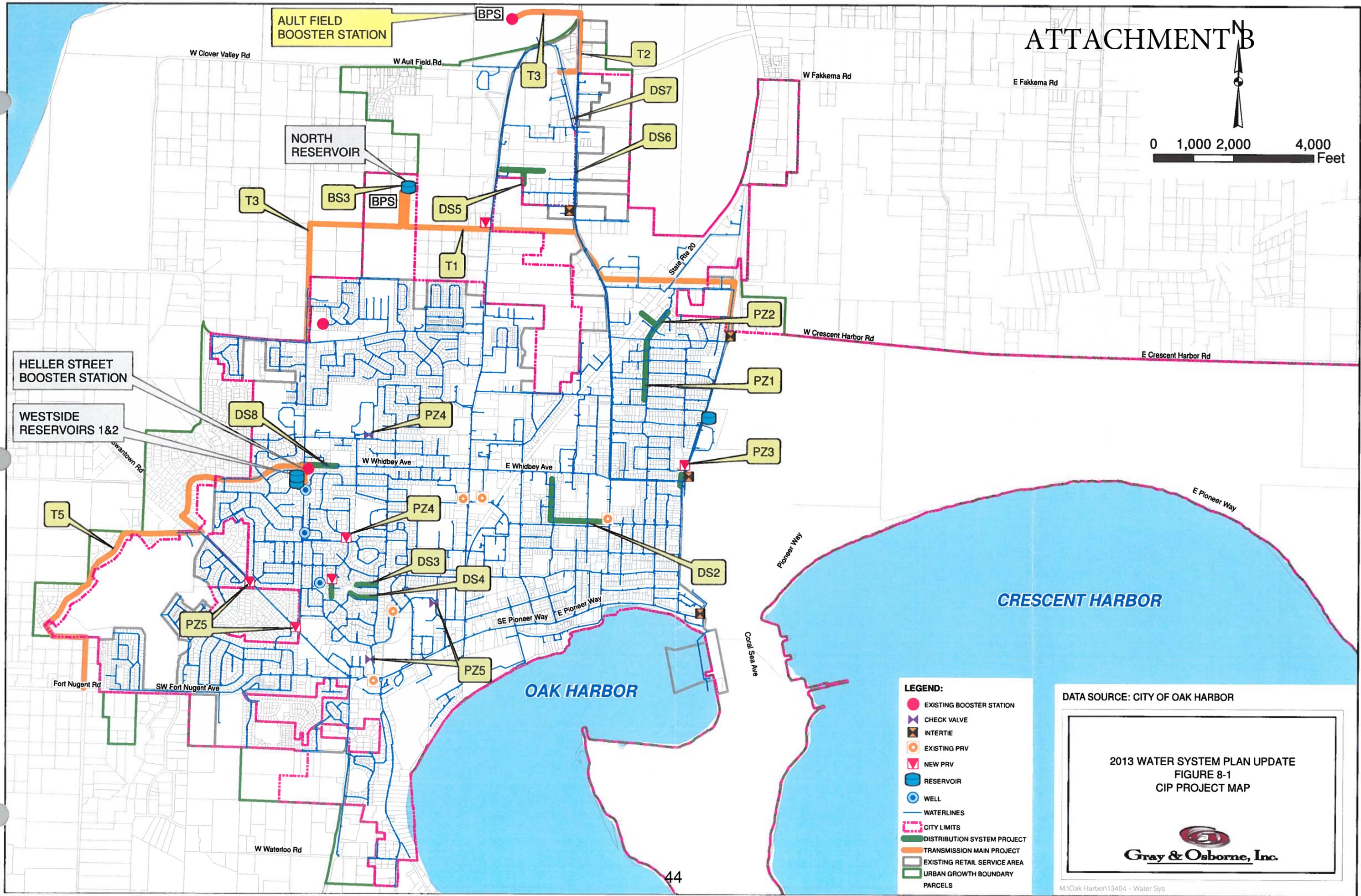
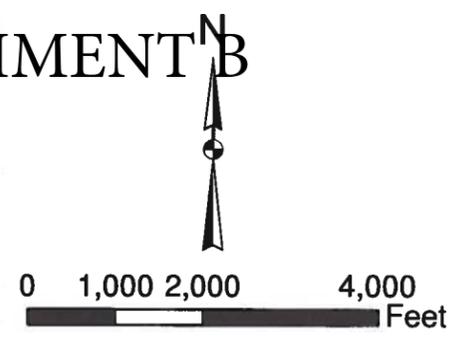
TABLE 8-6 – (continued)

Projected Capital Improvement Project Schedule

Construction Year	Project No.	Project Name	Estimated Cost ⁽¹⁾	Estimated Construction Cost ⁽²⁾
>2019 ⁽³⁾	T-5	Westside Water Main Extension	\$7,609,000	\$9,086,000
	DS-3	SW 10 th Court Pipe Replacement	\$188,000	\$224,000
	DS-4	SW 11 th Court Pipe Replacement	\$188,000	\$224,000
	DS-5	Erin Park Main Road Extension	\$578,000	\$690,000
	DS-6	Erin Park Road Tie-In	\$50,000	\$60,000
	DS-7	Industrial Avenue Tie-In	\$50,000	\$60,000
	DS-8	Heller Reservoir Extension	\$696,000	\$831,000
	PZ-5	322 Zone Development	\$485,000	\$579,000
	T-6	Campbell Lake Main Replacement	\$1,970,000	\$2,352,000
DS-9	Steel/AC Pipe Replacement	\$500,000	\$500,000	
>2019 Subtotal			\$12,314,000	\$14,606,000
6-Year Planning Period Total			\$16,661,000	\$17,284,000
20-Year Planning Period Total			\$28,975,000	\$31,890,000

- (1) Values given are in 2013 dollars and represent project costs include archaeological mitigation, contingency, tax, and engineering/administrative services.
- (2) Values given are estimated project costs and include items listed in (1) above.
- (3) This project is a joint City/NASWI project and final cost sharing has not been determined. Project timing and scope may change depending on the level of NASWI financial contribution.
- (4) Costs for these years are assumed to be 2020 dollars.

ATTACHMENT B



- LEGEND:**
- EXISTING BOOSTER STATION
 - ⊗ CHECK VALVE
 - ⊠ INTERTIE
 - EXISTING PRV
 - ▤ NEW PRV
 - RESERVOIR
 - WELL
 - WATERLINES
 - ▭ CITY LIMITS
 - DISTRIBUTION SYSTEM PROJECT
 - TRANSMISSION MAIN PROJECT
 - ▭ EXISTING RETAIL SERVICE AREA
 - ▭ URBAN GROWTH BOUNDARY PARCELS

DATA SOURCE: CITY OF OAK HARBOR

2013 WATER SYSTEM PLAN UPDATE
FIGURE 8-1
CIP PROJECT MAP

Gray & Osborne, Inc.

2014 Comprehensive Plan

Amendment

Scenic Views

Public Meeting

CITY OF OAK HARBOR PLANNING COMMISSION

TO: PLANNING COMMISSION
FROM: CAC KAMAK, SENIOR PLANNER
SUBJECT: COMPREHENSIVE PLAN AMENDMENT – SCENIC VIEWS
DATE: MAY 27, 2014
CC: STEVE POWERS, DEVELOPMENT SERVICES DIRECTOR

PURPOSE:

The purpose of this memo is to provide background ON THE Scenic Views project and put it in the context of other goals and policies in the Comprehensive Plan. Protecting scenic views is identified in several goals and policies, however measures to protect them may compromise other established goals and policies. In determining methods to protect Oak Harbor scenic views, the Planning Commission is requested to evaluate these goals and strike a balance between protecting community interests and imposing restrictions on land owners. Staff also requests the Commission determine if all of the nine views are still of interest for protection.

BACKGROUND

The Planning Commission chose to add the Scenic View study to the Comprehensive Plan Docket in 2012. The study was categorized as “Discretionary” in accordance with the priority system established in OHMC 18.50.050. The study was initiated with a public outreach effort that solicited photos from citizens on scenic views within Oak Harbor. A wide variety of photos were received from the public.

Prior to reviewing the numerous scenic views initially identified, the Planning Commission discussed a set of review criteria to use in evaluating the scenic views (Attachment 1). The criteria were established based on various factors such as the viewpoints’ location on private or public property, the significance of a scenic landmark (Oak Harbor Bay, Mt. Baker etc.) and its visibility from public streets, parks and trails. The Planning Commission also weighted the criteria since some factors warranted more importance than others.

Based on the public outreach and staff survey, a list of 27 views was compiled for the Planning Commission’s consideration. The views were discussed with the Planning Commission and each view was rated against the pre-established criteria. The criteria based evaluation narrowed the scenic views of interest to 9 potential views.

DISCUSSION

Scenic Views

The nine views identified for evaluation are listed below. A few suggestions have been provided on how the views can be protected.

1. Northbound SR 20 – Scenic Heights Street to Erie Street. This is an entryway view into the community for the north bound traffic on SR 20. The highway drops down in elevation from the Swantown Avenue intersection and curves around the intersection on Scenic Heights as the view of Mt. Baker appears beyond the city landscape.



Potential protection measures – reduce perimeter landscaping, monument signs, increased setbacks, staggered building heights

2. Waterfront Trail – Windjammer Park. The trail runs along the shoreline providing open views of the water and the mountains. There are some structures that can potentially be removed to improve the view. Additional guidelines can be discussed regarding landscaping or future structures.



Potential protection measures – remove sight obscuring structures, limit tall

growing vegetation

3. Waterfront Trail – Flintstone Park. The trail continues along the shoreline in Flintstone Park providing open views of the water, marina and the mountains.



Potential protection measures – limit sight obscuring structures, limit tall growing vegetation

4. Bayshore Drive – Dock Street to Midway Blvd – This section of Bayshore Drive, along with the waterfront trail, has open views of the water. Existing vegetation along portions of this stretch close to Midway Blvd makes the view intermittent.



Potential protection measures – limit sight obscuring structures, limit tall growing vegetation

5. Pioneer Way – Midway Blvd to Regatta Drive – This is also a section of roadway and trail that has an open view of the water. There are segments in this stretch that have existing vegetation. Depending on the extents of the right-of-way, the vegetation may be on private property since properties across the street extend in to the tidelands.



Potential protection measures – limit sight obscuring structures, limit tall

growing vegetation

6. Regatta Drive – SE 8th Avenue to Pioneer Way – This is another entryway view into the community for people entering via Regatta Drive. The views of the marina and the water start to appear to the southbound traffic after SE 8th Avenue. The elevation drops down from there so the views are above the buildings. The corridor view along the street remains while the view across properties starts to diminish close to SE 10th Avenue.



Potential protection measures – reduce perimeter landscaping, monument signs, increased setbacks, staggered building heights

7. Southbound SR 20 at NE 16th Avenue – This is an entryway view into Oak Harbor for the south bound traffic. The snow capped Olympic Mountains are visible as one approaches the NE 16th Avenue intersection on the highway.



Potential protection measures – monument signs, increased setbacks, staggered building heights

8. Pioneer Way – Ireland Street to Midway Blvd – This is an unobstructed view of the water from Pioneer Way. The views here are across private property.



Potential protection measures – scenic view study, public easements, purchase property

9. Dock Street – Barrington Drive to Bayshore Drive – There is a wider view of the bay from the top of Dock Street close to Barrington Drive. As the elevation drops the view becomes narrower and narrower due to the existing structures. The Planning Commission wanted to maintain a visual connection with the water from Dock Street.



Potential protection measures –increased setbacks, staggered building heights

Comprehensive Plan Goals and their relevance to Scenic Views

The importance of scenic views to the Oak Harbor community has been identified in the Comprehensive Plan. The Land Use Element, Urban Design Element and the Parks and Recreation Element have goals and policies specifically identifying their importance. However, some of the regulations and measures needed to protect these views may conflict with other goals and policies within the Comprehensive Plan. A discussion of these goals and policies is provided below.

Comprehensive Plan Goals and Policies	Relevance to Scenic Views and measures to protect them
Land Use Element	
<u>Goal 2 - To retain the character and visual identity of the Oak Harbor area.</u>	This goal in the Comprehensive Plan identifies various policies that the public believes will help to retain the community’s character and identity.
2.a Encourage planned residential development (PRDs) with performance based standards.	PRDs can be used as a form of development to increase densities in certain areas of the site and reduce it in other areas to protect viewsheds.
2.b Consider view corridors when planning for development.	(+) This policy identifies that views <u>from</u> Oak Harbor are an essential characteristic to protecting the visual identity of Oak Harbor.
2.c Draft and implement a	This policy places the importance of

landscape ordinance for inclusion with development regulations.	having good views <u>within</u> Oak Harbor by including landscaping in the City’s development regulations. Most developments in Oak Harbor that have landscaping islands in parking lots and on the perimeter of their property are directly related to the implementation of this policy. (-) Measures to reduce landscaping on the perimeter of lots to protect scenic views <u>from</u> Oak Harbor would be, in sorts, against this policy.
<u>Goal 4 - To preserve community character through quality design.</u>	
4.a Encourage city beautification through design and quality standards for landscaping of both public facilities and private development.	This policy addresses the visual interest created within the community by including landscaping for both public and private development
4.c Require all public facilities constructed by public agencies to be appropriately landscaped and designed.	The policy requires public facilities such as parks, open spaces, recreational areas, streets, public buildings etc. to be landscaped. Landscaping is one of those polices that is repeated several times within the Comprehensive Plan as a way to further various goals of the community.
4.d Identify, preserve and enhance desired views of water, mountains or other unique landmarks or landscape features. Such views should be regarded as important and valuable civic assets.	(+) This policy directly addresses the preservation of views, and their importance and value to the community.
Urban Design Element	
<u>Goal 5 - Protect viewsheds and view corridors.</u> Discussion: The City of Oak Harbor defines viewsheds as a panoramic view from a single location. Significant viewsheds include views of Mt. Baker, Mt. Rainier, Cascade mountain range, Olympic mountain range, Oak Harbor Bay, Maylor Point (especially wooded and tidal flat areas) and Saratoga Passage. The view corridors and viewsheds within the City should be identified and accurately mapped at a useable scale so they can appropriately guide development.	(+) This goal directly addresses the importance of view corridors <u>from</u> Oak Harbor by identifying some major points of interest that can be viewed from Oak Harbor. This goal also provides a link between view corridors and a desire to protect them by appropriately guiding development.

<p>5.a Consideration of building impacts on viewsheds and view corridors shall be exercised in all developments, and mitigation measures shall be applied to protect existing views.</p> <p>Discussion: The City may incorporate policies and guidelines to protect these resources, such as developing: a unified bulk program for building envelopes; performance based zoning; and, density bonuses as development incentives.</p>	<p>(+) This policy provides some direction on ways to protect scenic corridors. This policy also recognizes that blocking scenic views are an impact and calls for the application of “mitigation” measures to protect the larger interest of preserving community character and visual identity.</p>
<p>5.b Landscape buffers shall be required along major arterials, retaining existing vegetation where possible.</p>	<p>(-) This policy addresses views <u>within</u> Oak Harbor and its enhancement through landscaping. However, measures to protect viewsheds <u>from</u> Oak Harbor of the mountains and water by minimizing landscaping or eliminating them may contradict with this policy.</p>
<p>5.c Free standing business signs should be consistent with the speed limit of roadways, and the character of land use districts.</p>	<p>This is not directly applicable to protecting views but suggests that signs can be regulated to serve specific roadways and land use districts.</p>
<p>5.d Developments along Oak Harbor's waterfront should enhance the area's natural and physical aesthetics.</p>	<p>This policy again indicates the importance to the community on natural areas and physical aesthetics.</p>
<p>5.e Scenic transportation routes should be identified. Adjacent property owners will be encouraged to protect scenic values.</p>	<p>(+) This policy directly encourages property owners adjacent to scenic viewsheds to protect them.</p>
<p>5.f The City and the Navy should cooperate on the protection of viewsheds and view corridors.</p>	<p>The policy indicates the importance of protecting scenic views at the inter-governmental level.</p>
<p>Parks and Recreation Element</p>	
<p><u>Open Space</u></p> <p>k. Identify and protect important “view corridors” that provide visual access to scenic vistas.</p>	<p>This policy suggests identifying the “view corridors” and then protecting them.</p>

From the above, we can determine that there are potential conflicts when trying to protect scenic views from the community (Oak Harbor Bay, The Cascades, The Olympic Mountains etc.) and views within the community such as landscaping, natural areas, street trees, etc. Oak Harbor's landscape ordinance is a direct implementation of some of the goal and policies listed above to buffer adjacent land uses as well as beautify the community. Setbacks, design guidelines, buffering, retention of natural areas, parking lot landscaping etc. are few of the zoning requirements that enhance the views and experience within the community and contribute to its urban design aesthetic. Ironically, sometimes these are some of the reasons that scenic views from Oak Harbor are blocked or compromised. In determining methods to protect scenic views from Oak Harbor, the Planning Commission is requested to evaluate these goals and strike a balance between protecting community interests and imposing restrictions on land owners. Listed below are a few points to consider in furthering scenic views from and within the community.

- Transitory Nature of Views – Experiencing views while travelling through a community can be intermittent. Views can be broken up by structures, vegetation, signs etc. Should it be the community's goal to provide a non interrupted view of the landmarks surrounding the community? Should regulations unique to specific properties be considered to obtain uninterrupted views? (Regatta Drive view, Southbound SR 20 view, Pioneer Way view) Or, is it acceptable to have varying degrees of views available?
- Corridor Views and Panoramic Views – Views of the mountains or water directly ahead on a street or trail that is defined by structures and trees provide leading lines to the landmark and gives a sense of connection between the community and these landmarks. A panoramic view provides a sense of awe as a viewer scans the scenery around them that is free of obstructions. Are corridor views that much more enhanced by increased setbacks of structures closer to the viewer? Is the gain on the view offset by the impact to the site and its development?
- *Design Guidelines* – The guidelines established for designing development within Oak Harbor are a direct implementation of enhancing views within Oak Harbor. These guidelines strive to enhance the public's experience of the built environment by bringing structures closer to the streets to create a pedestrian scale as well as increasing access. The results of the design guidelines can be seen in developments such as Harbor Station, Walgreens, Banner Bank etc. Is a compromise of these guidelines for specific properties within a viewshed offset by the gain in scenic views?

Staff will give a presentation on these goals at the meeting and encourage a discussion of them to gather additional information on the implementation measures for the identified views. Staff would also like to determine if the all the nine views are still of interest for protection.

ACTION

No formal action is required. Discussion about the goals and its relation to the scenic views will provide staff additional information and direction on this study.

Criteria

Proposed Criteria	Rating Score H = High M = Medium L = Low D = Deduct	Score
View from public property	H	100
View from streets		
SR 20	M	50
Arterial	M	50
Collector	L	25
Local	L	25
View from a pedestrian/pedestrian trail	H	100
View of a specific landmark	H	100
The need to buy property	D1	-100
The need for special zoning regulations	D	-50
Additional Criteria		
Entryway views	H	100
Waterfront connectivity	H	100
		Max - 550

Medical Marijuana

Public Meeting

City of Oak Harbor Planning Commission Report

Date: May 27, 2014
Subject: Medical Marijuana Related Uses
– Code Amendment Project

FROM: Steve Powers, Development Services Director

SUMMARY STATEMENT

A moratorium is presently in place prohibiting the establishment of medical marijuana collective gardens and marijuana dispensaries in Oak Harbor. Last month staff briefed the Planning Commission on the current status of medical marijuana law in Washington State. Staff will once again brief the Commission on this matter.

RECOMMENDATION

No action is required. This item is presented for information only.